

1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"

OCCUPANCY TYPE 50-52		SUB-C, 100-11		
PERSONS (MEMBERS)				
TYPE	FLOOR AREA SQ. FT.	FLOOR AREA PER PERSON	REQUIRED OCCUPANCY	ACTUAL OCCUPANCY
PARKING	561 SQ. FT.	15	NET 50 SQ. FT.	39
JAVELIN	510 SQ. FT.	50	OR 58 SQ. FT.	11
NET	112 SQ. FT.	50	OR 58 SQ. FT.	3
WALK	561 SQ. FT.	15	OR 58 SQ. FT.	14
ART	100 SQ. FT.	20	NET 50 SQ. FT.	52
GREENHOUSE	561 SQ. FT.	50	OR 58 SQ. FT.	12
GOAL	450 SQ. FT.	50	OR 58 SQ. FT.	10
BUSINESS CENTER	237 SQ. FT.	100	OR 58 SQ. FT.	3
SPRINKLER FCT	132 SQ. FT.	1	NET 50 SQ. FT.	28
15' SIDE BOLLARDS LINE				172

[illegible]

LOT LINE OPENING CALCULATIONS				
BETWEEN THE PROPERTY (33) AND 428 W 10TH AVENUE ELYD (31)				
	TOTAL LENGTH	20% MAX LENGTH OPEN BY OTHER LOTTER	TOTAL LENGTH OF PROPOSED OPENING	PERCENTAGE OF FOUNDATION TOTAL OPEN
CELLAR BEZONCE (SUBCELLAR MECHANICAL)	100'-11"	47'-0"	4'-0"	2.2%
CELLAR (WINDS HALL)	100'-11"	47'-0"	11'-0"	5.9%
SUBCELLAR (SUBCELLAR)	25'-0"	0'-0"	4'-0"	16.8%

OPENINGS AT WALL IN:
 ALLOWABLE OPENING BETWEEN BUILDINGS WITH 3/4" FDE SHUTTER
 BUILDING 001: WALL IN COLLAR BEZEL (BUILDING 1) BEZEL (BUILDING 2) + (05-17) X (25) + 47" - 3"
 BUILDING 002: WALL IN BUILDING 1 (BUILDING 2) + (25-7) X (25) + 47" - 4"

OPENINGS AT WALL IN:
 COLLAR BEZEL (BUILDING 1) BEZEL (BUILDING 2)
 OPENING A (4-2) X (4-2) + (4-2) + (4-2)

COLLAR BEZEL (BUILDING 1) BEZEL (BUILDING 2)
 OPENING A (4-2) X (4-2) + (4-2) + (4-2)

BUILDING 1 (BUILDING 2)
 OPENING A (4-2) X (4-2) + (4-2) + (4-2)

LOT LINE OPENING CALCULATION				
BETWEEN THE PROPERTY (B3) AND E33 WEST 90TH ST (B4)				
FOUNDATION WALL WITH BUDGET	TOTAL LENGTH	25% MAX. LENGTH PERMITTED LOTS 15 ALVARADO ST CODE	TOTAL LENGTH OF PROPOSED (OPENING)	PERCENTAGE OF FOUNDATION WALL OPEN
CELLAR (SUBCELLAR) SUBCELLAR (SUBCELLAR 2)	208'-0"	82'-0"	13'-0"	6.5%
	68'-0"	17'-0"	0'-0"	12.7%

REMARKS:

ALLOWABLE OPENING BETWEEN BUILDINGS WITH 3HR FIRE SHUTTER BUILDING WALL IN CELLAR (SUBCELLAR 1) = $(8'-0") \times (1.5) = 12'-0"$
SUBCELLAR WALL IN SUBCELLAR 2 = $(8'-0") \times (1.25) = 10'-0"$

OPENINGS AT WALL IN:

CELLAR (SUBCELLAR 1)
OPENING A (4'-11") + OPENING B (3'-0") = 13'-0" < 12'-0"

SUBCELLAR (SUBCELLAR 2)
OPENING A (4'-0") + OPENING B (4'-0") = 8'-0" < 10'-0"

10.	12/19/2017	DOB SUBMISSION
9.	12/05/2017	DOB SUBMISSION
8.	10/30/2017	DOB SUBMISSION
7.	10/14/2016	DOB #12
6.	07/25/2016	DOB SUBMISSION
5.	05/27/2016	DOB SUBMISSION
4.	02/03/2016	DOB SUBMISSION
3.	08/21/2015	DOB SUBMISSION
2.	07/31/2015	DOB SUBMISSION
1.	01/04/2015	DOB SUBMISSION

Number:	Date:	Revision:
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OWNER:	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
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PROJECT:
RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
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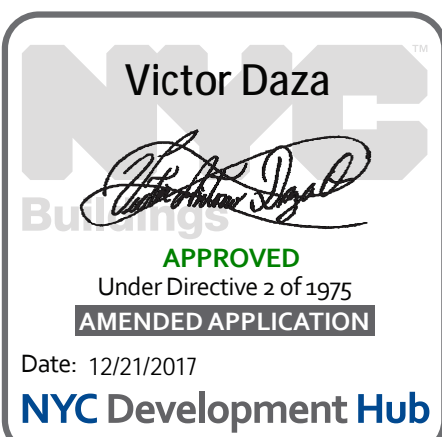
DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
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STRUCTURAL ENGINEERS
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
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ME/PFP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue

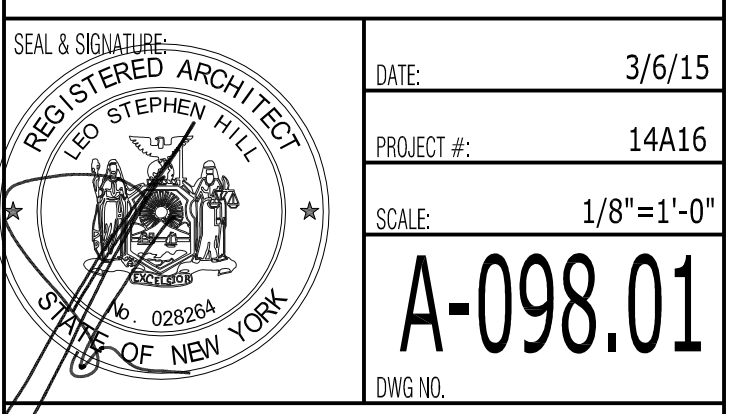
INTERIOR DESIGNER: **CHAMPALIMAUD**
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DOB STAMPS & SIGNATURES:

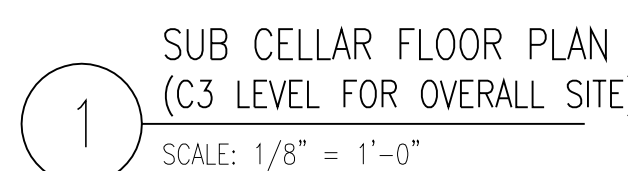


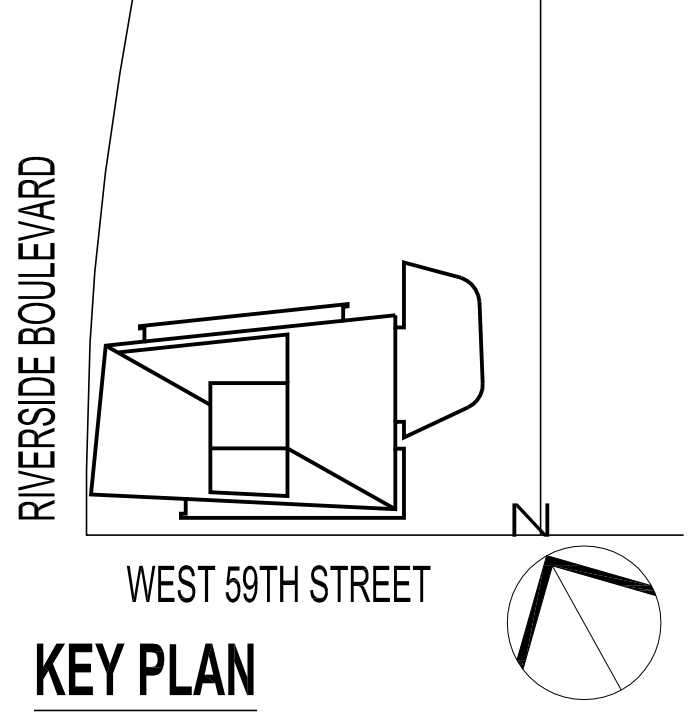
DWG TITLE:

SUB-CELLAR
AMENITIES PLAN (CONSTRUCTION)



A-098 SUB-CELLAR AMENITIES



[illegible]

REFUSE COLLECTION NOTES

-REFUSE COLLECTION SHALL BE USED FOR ALL OTHER PURPOSES AND SHALL BE SEPARATED FROM ALL OTHER OCCUPANCIES BY 1/2 HOUR FIRE RATED ENCLOSURE. DOORS INTO SUCH SPACES SHALL BE FIRC 1-1/2 HOUR FIRE RATED (BC 706.13.4).

-CLOSET OPENINGS FOR REFUSE CHUTE SHALL BE LOCATED IN DESIGNATED CLOSET ROOMS (ENCLOSURE IN 1/2 HR RATED CONSTRUCTION WITH 1 1/2 HR FIRC DOORS, BC 706.13.3) OPENINGS INTO THE REFUSE CHUTE SHALL BE IN ACCORDANCE WITH SECTION 715. SHALL HAVE 1 1/2 HR RATING AND SHALL BE SELF-CLOSING (BC 706.13.3).

-75% SLOPE CONCRETE BLOCK, TYPE C-80 CONCRETE BLOCK WITH 3 HOUR FIRE RATED WALL AT TRASH COMPACTOR ROOM WITH A MIN. 31C RATING OF 50 A TRASH CHUTE WALLS WITH 1 1/2 HR. FIRC RATED DOOR.

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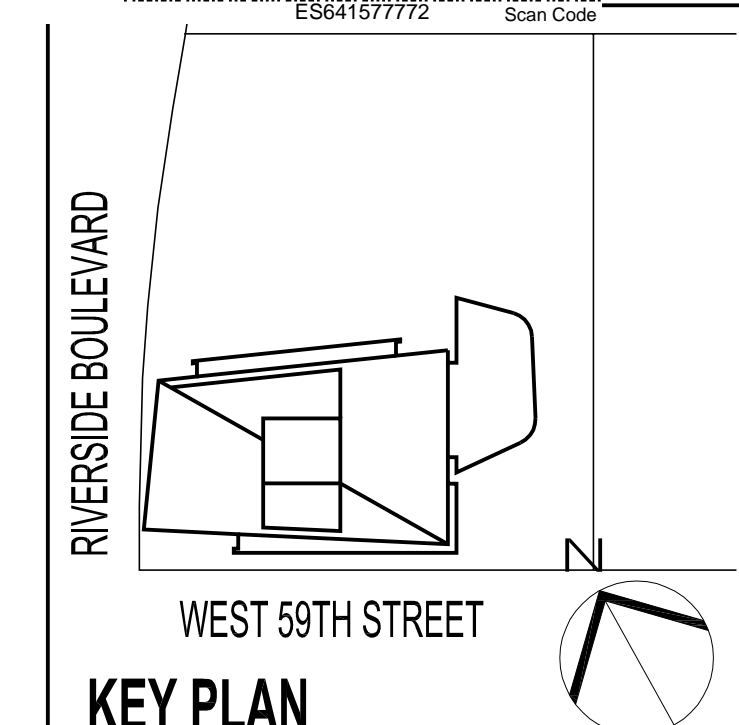
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Victor Daza
Victor Daza
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

SEAL & SIGNATURE	

A-099_SUB-CELLAR

[illegible]

PARKING NOTE

ULURP ALLOWS 203 PARKING SPACES MAX. WE PROVIDE 90 TOTAL PARKING SPACES, 35 ON CELLAR LEVEL & 55 ON THE 1ST FLOOR CELLAR LEVEL. NO STACKERS CURRENTLY PROVIDED.

CAR/CAR: 10'-6"
CAR/SUV: 12'-2"
SUV/SUV: 14'-0"

11 PREFERRED PARKING PROVIDED
7 CHARGING STATIONS PROVIDED

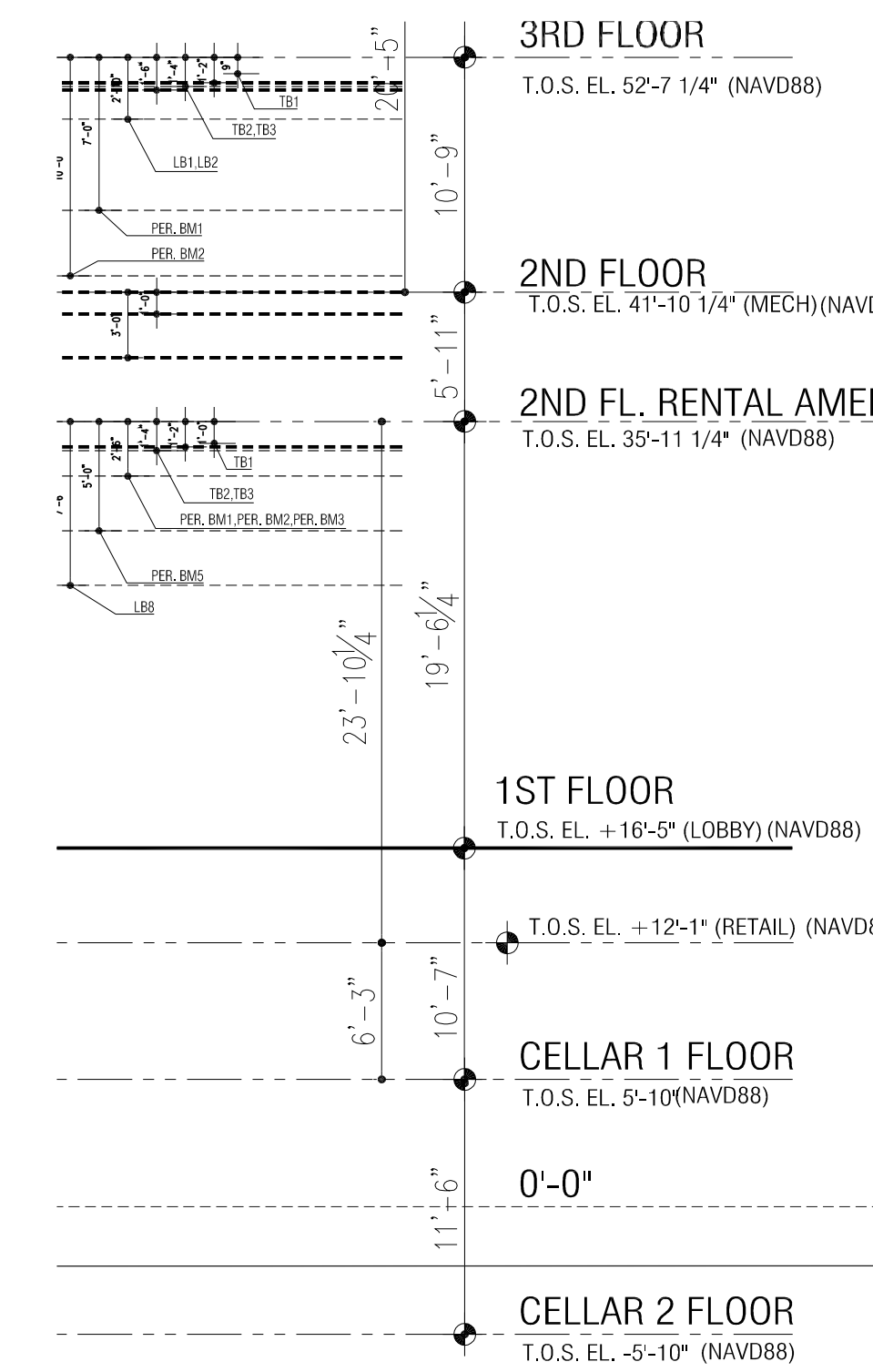
NOTE: CURRENT CALCULATIONS BASED ON MAX ULURP CAR COUNT OF 203 SPACES.

	A 100.01 DWG NO.
A-100_CELLAR	

RIVERSIDE BOULEVARD
WEST ELEVATION

FLOOR	1 (CELLAR)
RESIDENTIAL CORE AREA	4,767.58
RETAIL	3,660.09
TOTAL GFA	9,778.46

1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"

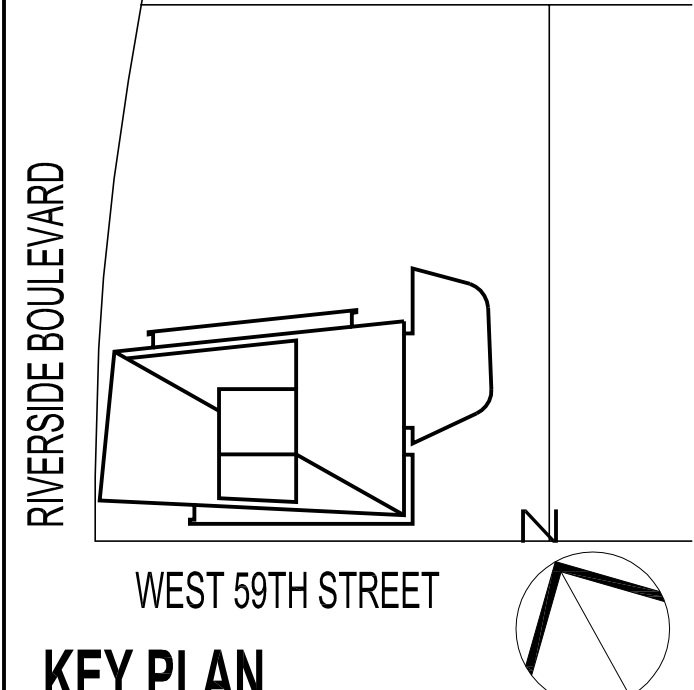
OCCUPANCY TYPE			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
RETAIL	1,193	30	40
SERVICE/CLERICAL ROOM	1,352	300	2
PUBLIC ACCESS GARAGE	485	280	2
RESTROOM	244	300	3
CONDO MAIL ROOM	1,108	280	1
COLD ROOM	1,153	300	1
CONDO STORAGE	1,105	300	1
CONDO LOBBY	2,443	280	15
RENTAL MAIL ROOM	334	280	2
RENTAL LOBBY	2,028	280	11
TOTAL	770,550 FT.		75

CONSTRUCTION CLASS 1B
DOOR CAPACITY: PER I.C. 1001.1
CAPACITY OF DOOR TO STAIR & STAIR IS 80 PEOPLE PER HOUR INCLUDING TOTAL OF 360 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY.
DOOR WIDTH PER I.C. 1001.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPIES)
STAIR CAPACITY: PER I.C. 1001.1
CAPACITY OF STAIR & STAIR IS 140 PEOPLE PER HOUR INCLUDING TOTAL OF 260 PEOPLE. TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY.
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1-2 HR. RATED
FULL COMPLIANCE WITH I.C. 1001.1
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS EQUIPMENT TO SLEEPING AREAS.
ENTRANCE TO EACH UNIT SHALL BE FULLY PRIVACY SCREENED WITH SMOKE DETECTORS.
PROPOSED EXISTING PASSENGER VEHICLES WITH REARVIEW MIRRORS TO BE WITH HEIGHT, CONSTRUCTION OPENING AND PENETRATIONS.
ENERGY CODE PROFESSIONAL STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2014 NEW YORK CITY ENERGY CONSERVATION CODE.

NOTE:
ALL GROUP R-2 OCCUPANCY DOORS AND WINDOWS, INCLUDING ALL BUILDING EXIT DOORS, OTHER EXTERIOR DOORS, AND ALL DOORS AND WINDOWS OF DWELLING UNITS SHALL COMPLY WITH SECTIONS 1008.4.1 THROUGH 1008.4.4 OF THE 2014 NY BUILDING CODE.

RETAIL PLUMBING REQUIREMENTS:
RETAIL SPACE = 1,186 S.F.
30 S.F./PERSON = 40 PEOPLE TOTAL
WATER CLOSET:
1-500 PEOPLE/1 W.C. (AGGREGATE)
LAVATORIES:
1-750 PEOPLE/1 LAV (AGGREGATE)
(1) SERVICE SINK/FACILITY
(1) DRINKING FOUNTAIN/1000 PEOPLE

BICYCLE CALCULATIONS:
.5 BICYCLES/UNIT = 272 TOTAL UNITS/2 = 136 BICYCLES REQUIRED
15 S.F./BICYCLE * 136 BICYCLES REQUIRED = 2,040 S.F. BICYCLE ROOM
BICYCLE ROOM ON CELLAR PLAN
1,695 S.F./15 S.F. PER BICYCLE = 113 BICYCLES



KEY PLAN

8/10/2017	008 SUBMISSION
7/10/2016	008 A12
6/10/2016	008 SUBMISSION
5/10/2016	008 SUBMISSION
4/10/2016	008 SUBMISSION
3/10/2016	008 SUBMISSION
2/10/2016	008 SUBMISSION
1/10/2016	008 SUBMISSION

Number: Date: Version:

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

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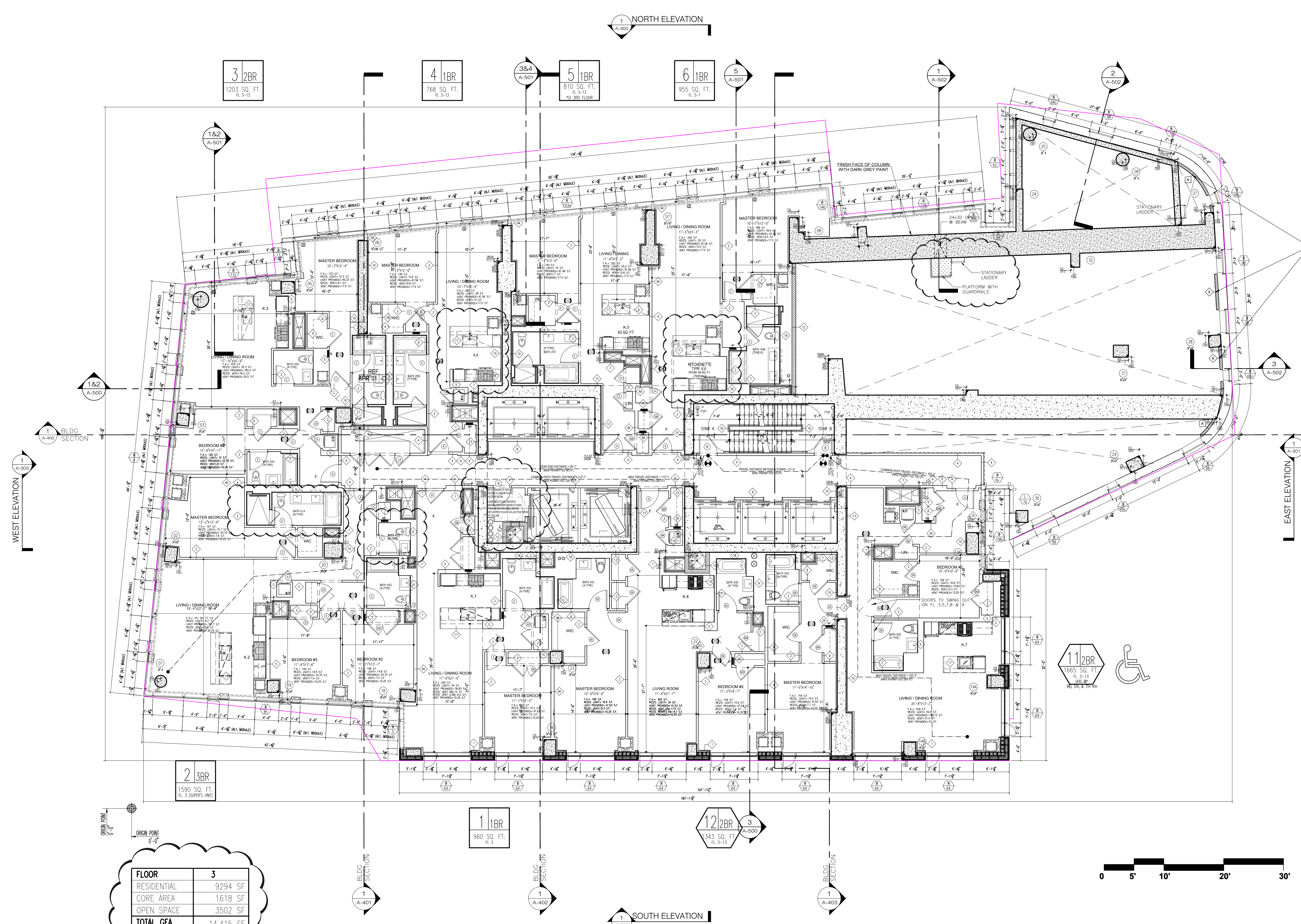
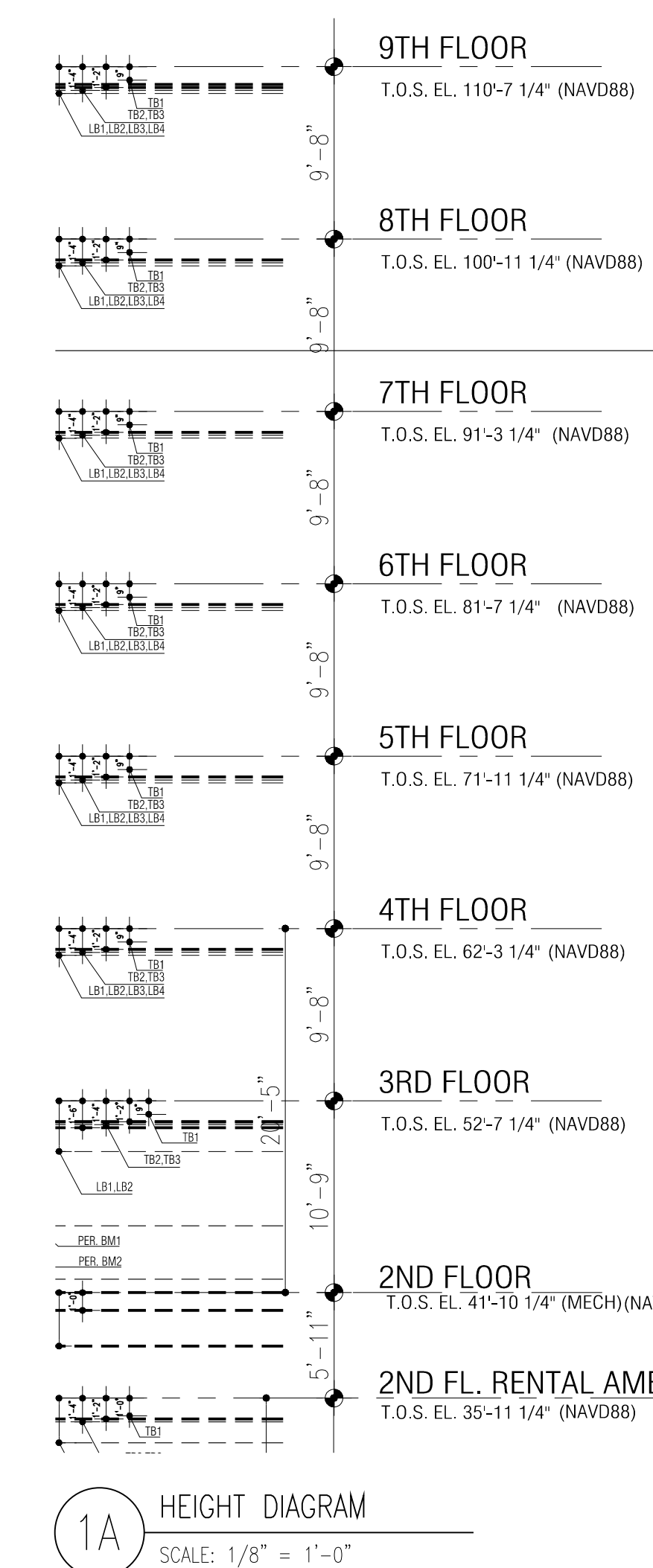
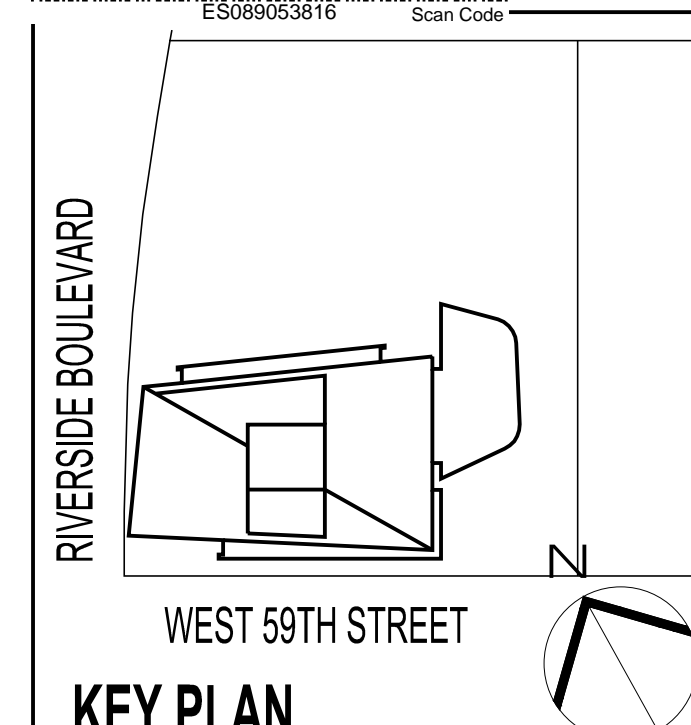
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CON STAMPS & SIGNATURES: Victor Daza
APPROVED Under Contract of 2015 AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

1ST FLOOR PLAN (CONSTRUCTION)
FIRST FLOOR (MARKETING)

DATE: 3/6/15	PROJECT #: 14A16
SCALE: AS NOTED	A-101.01



INCLUSIONARY RENTAL CONDO

HPD UFAS SENSORY IMPAIRED (SI) UNIT

INCLUSIONARY RENTAL CONDO

HPD UFAS

3RD FLOOR			
OCCUPANCY TYPE 9-2		PER B.C. 309A.1.1	
TYPE	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
1	962	200	5
2	1458	200	8
3	1200	200	7
4	718	200	4
5	817	200	5
6	961	200	5
10	1085	200	9
12	1343	200	7
TOTAL	8990.00 SQ. FT.		60

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FLOOR	3
RESIDENTIAL	9294 SF
CORE AREA	1618 SF
OPEN SPACE	3502 SF
TOTAL GFA	14,415 SF

1 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"



8.	10/30/2017	DOB SUBMISSION
7.	10/14/2016	DOB ALT 2
6.	07/25/2016	DOB SUBMISSION
5.	05/27/2016	DOB SUBMISSION
4.	02/03/2016	DOB SUBMISSION
3.	09/21/2015	DOB SUBMISSION
2.	07/31/2015	DOB SUBMISSION
1.	03/06/2015	DOB SUBMISSION

Number:	Date:	Revision:
OWNER: GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110		

PROJECT:
RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

DO NOT RE-ADJUST.

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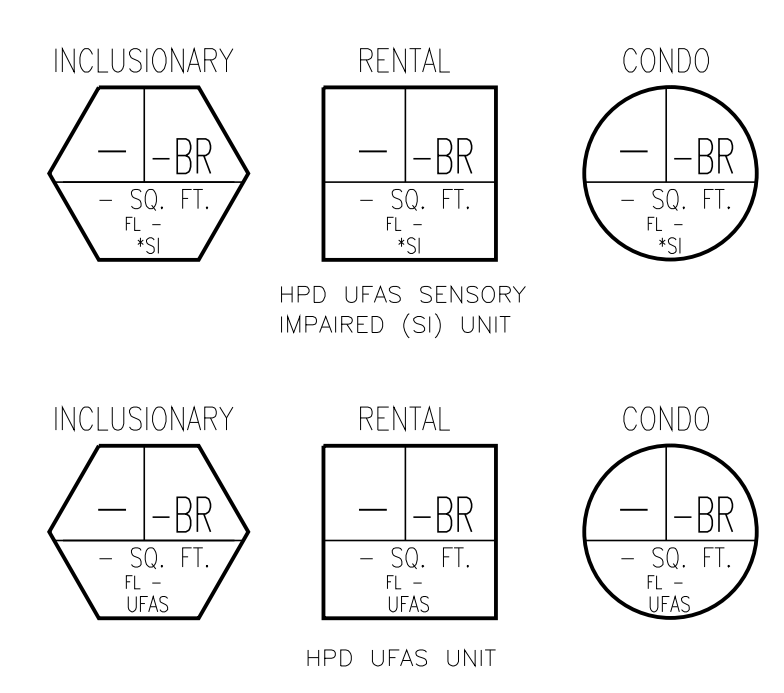
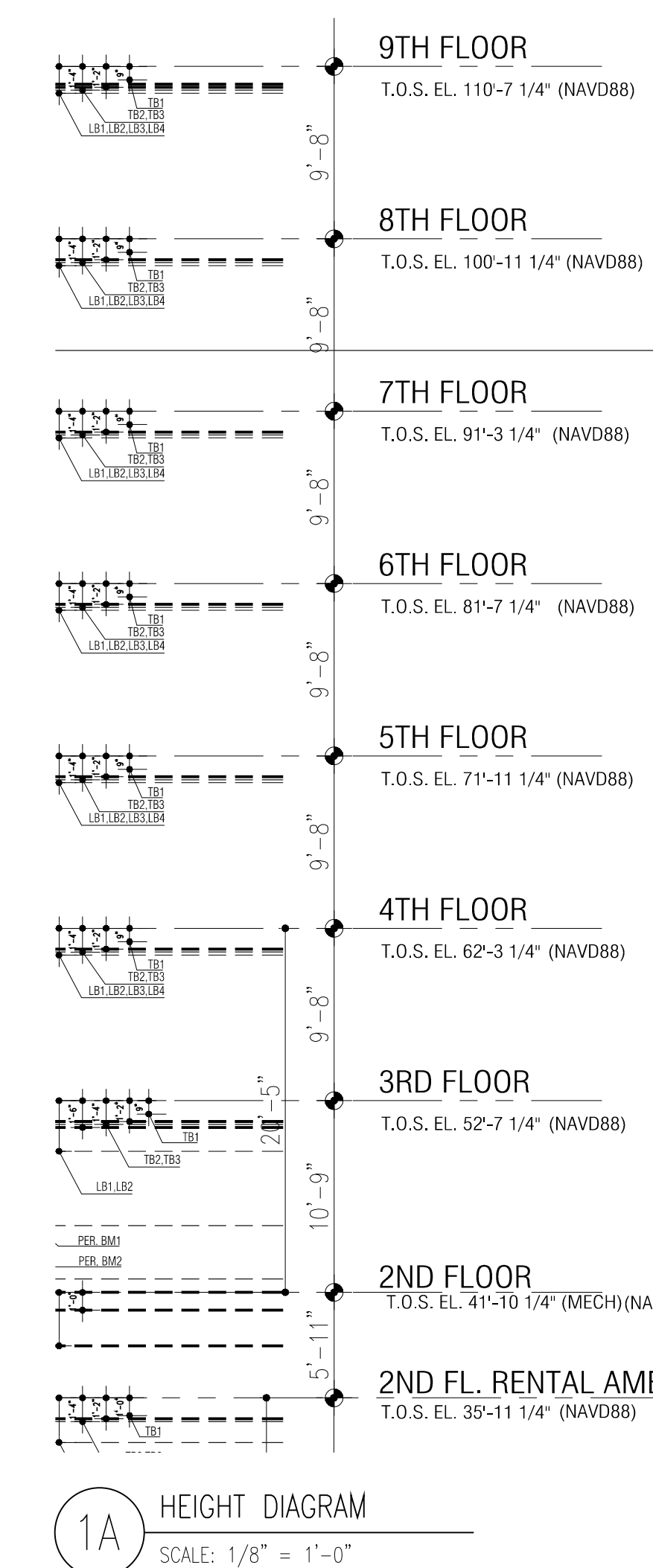
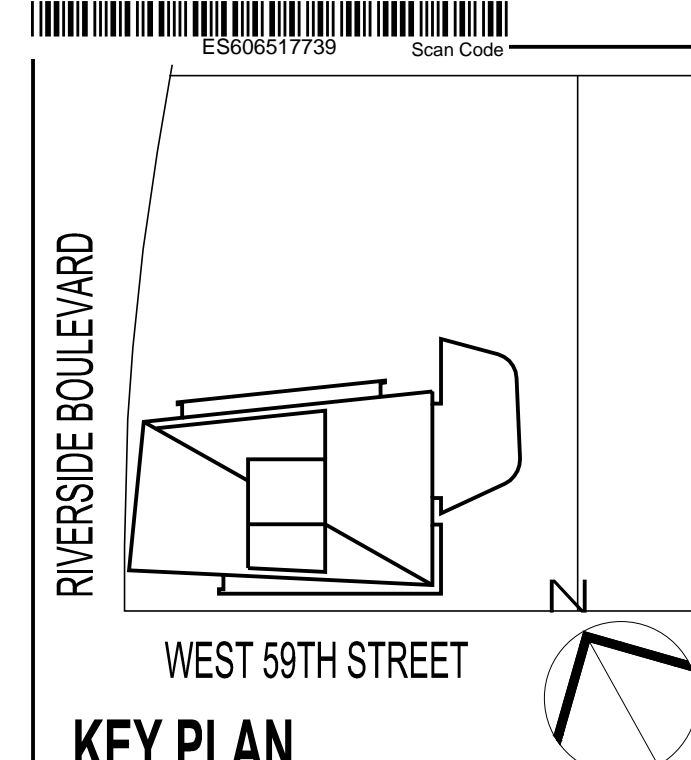
INTERIOR DESIGNER: CHAMPALIMAUD
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COB STAMPS & SIGNATURES:

Victor Daza
Victor Daza
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

3RD FLOOR PLAN (CONSTRUCTION)
3RD FLOOR PLAN (MARKETING)

	DATE:	3/6
	PROJECT #:	14
	SCALE:	AS NOTED
	<div style="font-size: 2em; font-weight: bold;">A-103.0</div>	
DRAWING NO.		



OCCUPANCY TYPE B2			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
1	960	200	5
2	1550	200	8
3	1550	200	7
4	790	200	4
5	830	200	5
6	890	200	5
7	830	200	5
8	500	200	3
9	1330	200	7
10	810	200	5
11	1960	200	9
12	1340	200	7
TOTAL	12810 SQ. FT.		70

CONSTRUCTION CLASS 1B

LOAD CAPACITY: PER I.C. 100.1

CAPACITY OF DOOR TO STAIR AND STAIR IS 180 PEOPLE PER 30' WIDE OPENING. TOTAL OF 360 PEOPLE.

TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY.

DOOR WIDTH: PER I.C. 100.1.1

THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY: PER I.C. 100.1

CAPACITY OF STAIR AND STAIR IS 144 PEOPLE PER 44' WIDE STAIR. TOTAL OF 288 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)

NOTE:

ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED

ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED

IF A.C.

FULL COMPLIANCE WITH NYECC.

EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS.

ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.

PROPOSED EXIT PASSAGEWAY COMPLIES WITH IBC CODES WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHES.

ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.

IF REQUESTED BY AKA PERSON, WE SHALL PROVIDE AN ACCESSIBLE WASHROOM UNIT.

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/23/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	09/21/2015	DOB SUBMISSION
2	07/21/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:
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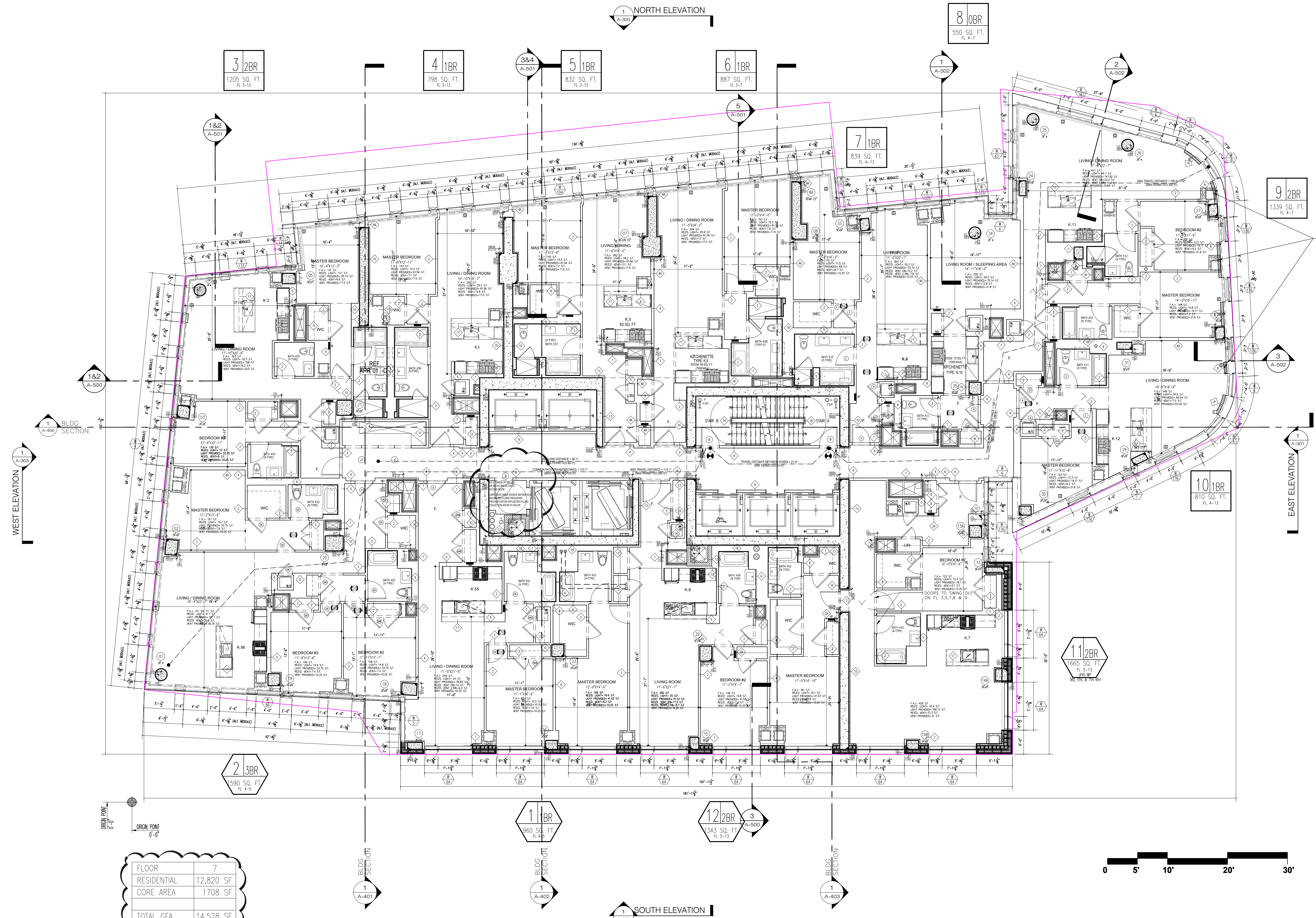
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DOB STAMPS & SIGNATURES:

DWG TITLE:
4TH FLOOR PLAN (CONSTRUCTION)
4TH FLOOR PLAN (MARKETING)

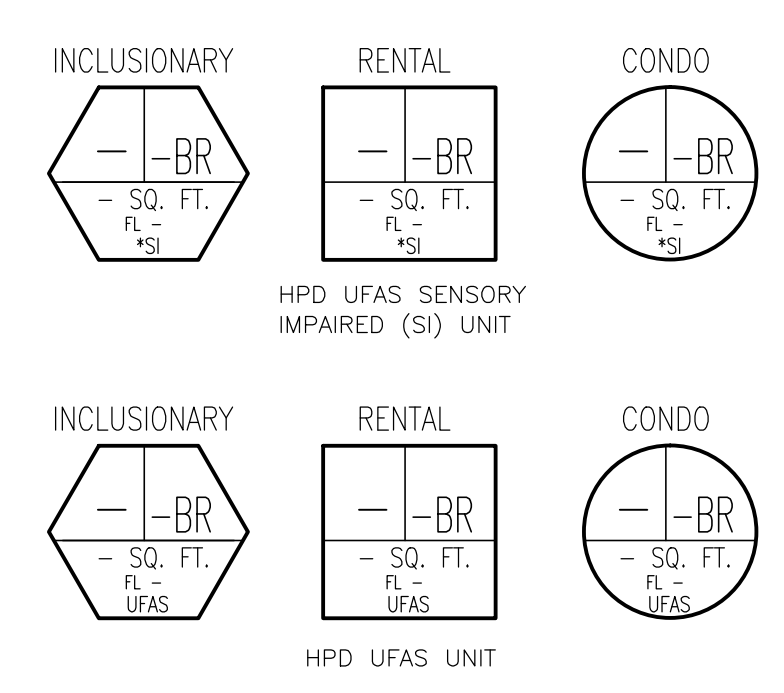
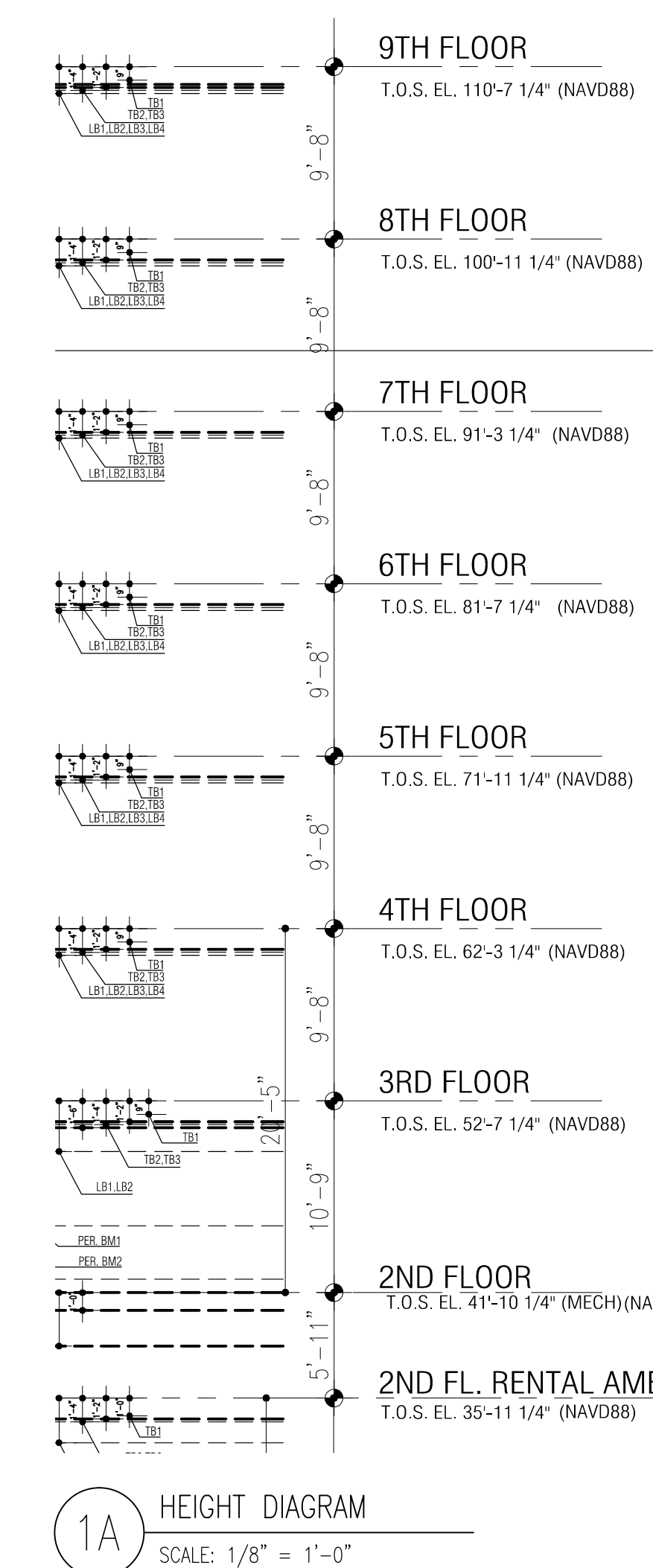
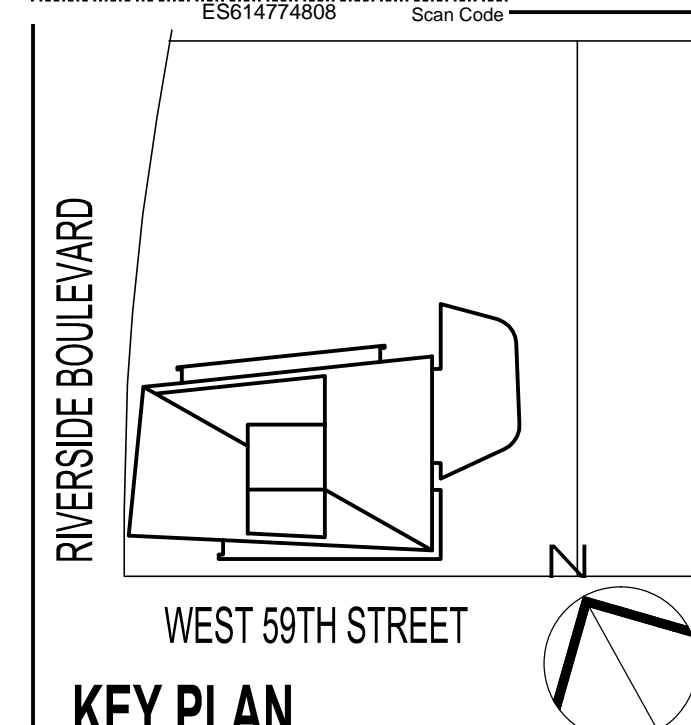
SEAL & SIGNATURE:

DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-104.01
DWG NO.



FLOOR	7
RESIDENTIAL	12,820 SF
CORE AREA	1708 SF
TOTAL GFA	14,528 SF

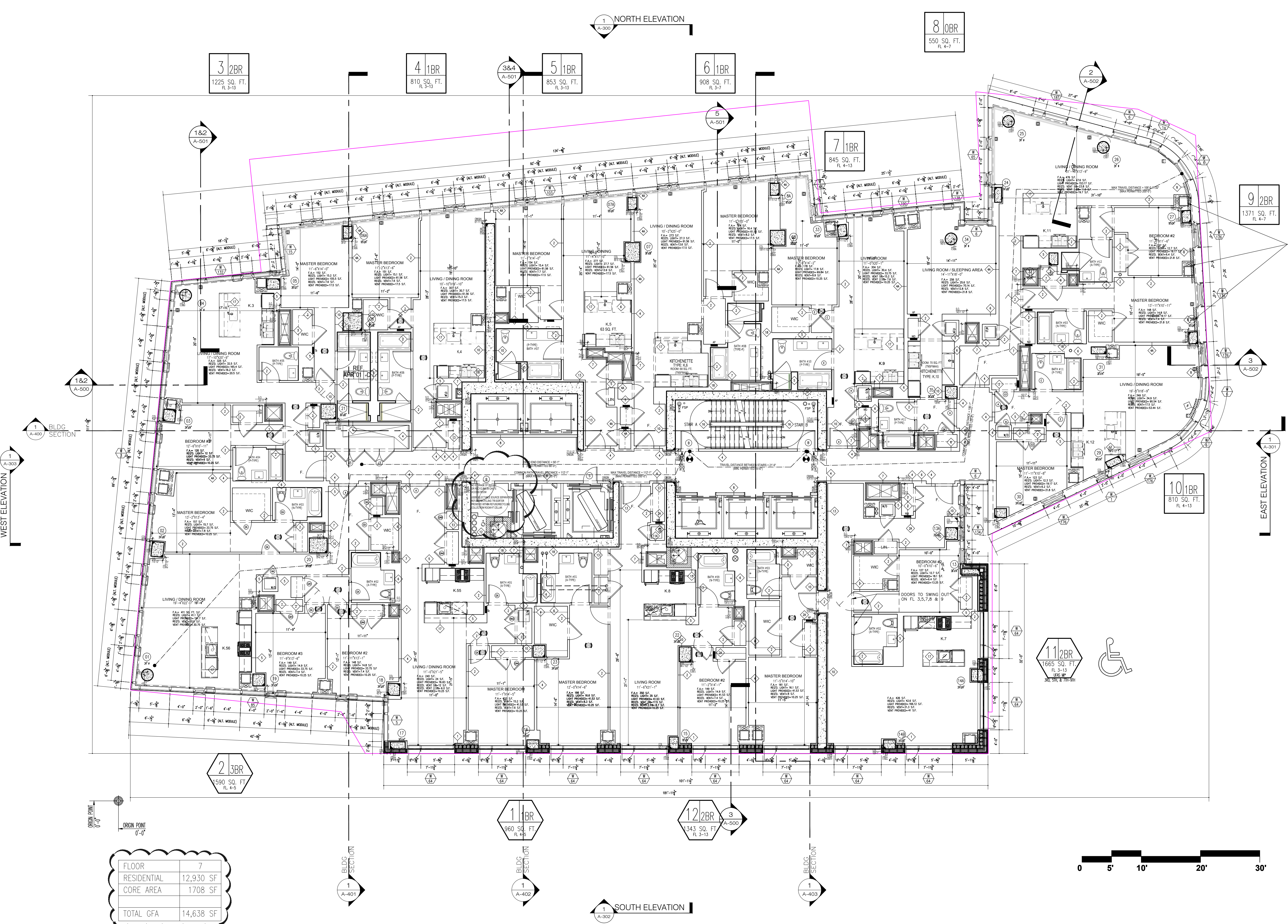
1 4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



5TH FLOOR			
PER B.C. 1004.1.1			
OCCUPANCY TYPE (B2)	NET AREA	NET FLOOR AREA (NET FLOOR AREA)	OCCUPANT COUNT
APARTMENT			
1	960	200	5
2	1550	250	8
3	1220	200	7
4	910	200	5
5	850	200	5
6	950	200	5
7	850	200	5
8	500	200	3
9	1371	200	7
10	610	200	5
11	1565	200	9
12	1343	200	7
TOTAL	12800 SQ. FT.		71

CONSTRUCTION CLASS 1B

DOOR CAPACITY: PER B.C. 1004.1.1, CAPACITY OF DOOR TO STAIR AND STAIR B.S. IS 180 PEOPLE PER 30\"/>



FLOOR	7
RESIDENTIAL	12,930 SF
CORE AREA	1708 SF
TOTAL GFA	14,638 SF

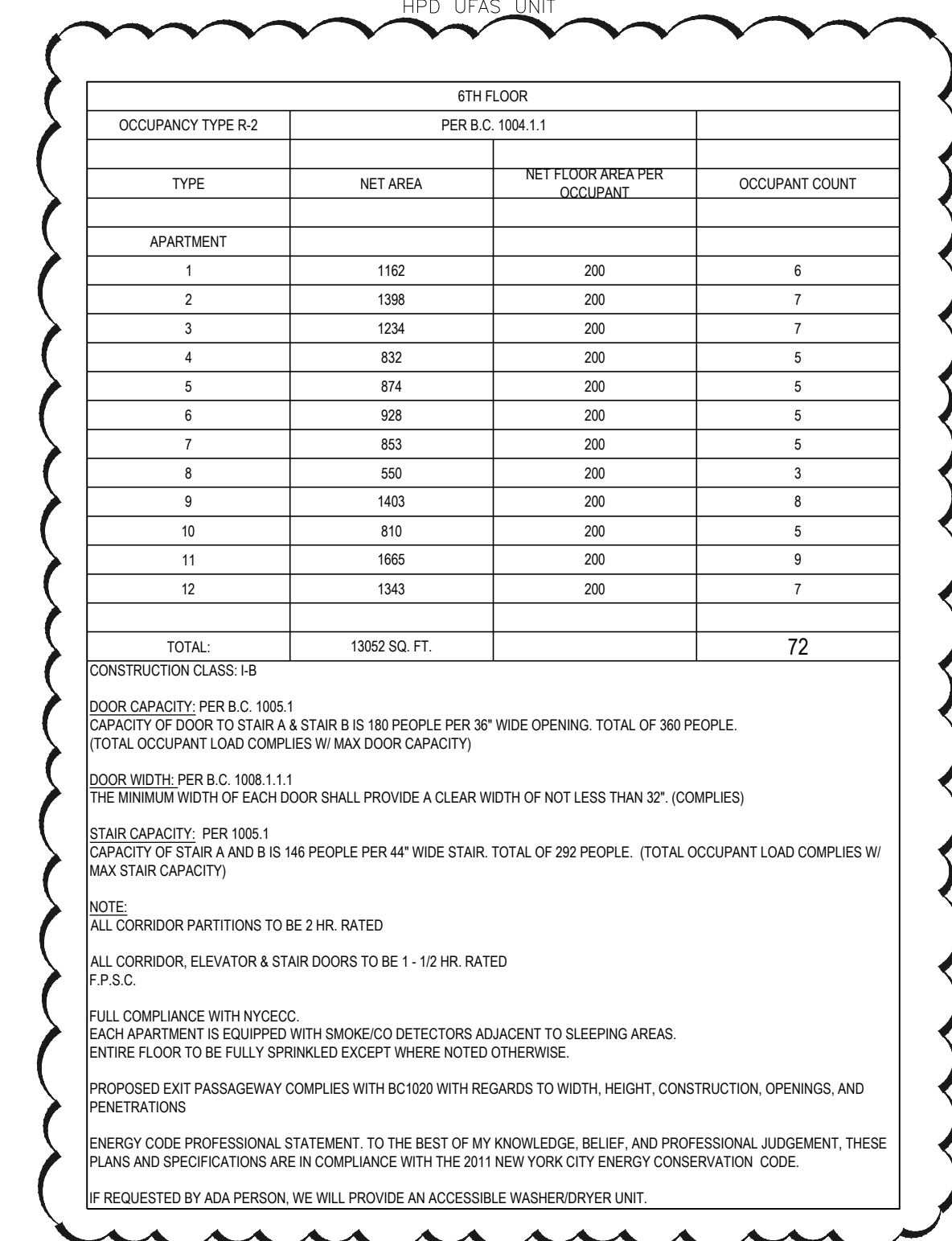
1 5TH FLOOR PLAN
SCALE: 1/8\"/>

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/23/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	09/21/2015	DOB SUBMISSION
2	07/21/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

Owner	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
Project	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY
Executive Architect	HILL WEST ARCHITECTS 11 BROADWAY 17TH FLOOR NEW YORK, NY 10004 T. 212 219 8007
Design Architect	RICHARD MEIER & PARTNERS ARCHITECTS, LLP 475 Tenth Avenue New York, NY 10018 Tel: (212) 967-6060
Structural Engineer	WSP BUILDING SYSTEMS CONSULTING ENGINEERS 228 East 45th St, 3rd Floor New York, NY 10017 Tel: (212) 687-9888 Fax: (646) 487-5501
MEP/FIT Engineer	WSP BUILDING SYSTEMS CONSULTING ENGINEERS 512 Seventh Avenue New York, NY 10018 Tel: (212) 532-9600
Interior Designer	CHAMPALIMAUD 475 Tenth Avenue, 10th Floor New York, NY 10018 Tel: (212) 807-8669

DOB STAMPS & SIGNATURES
APPROVED Under Director's Seal of 2015 AMENDED APPLICATION Date: 12/21/2017 NYC Development Hub

DOB TITLE	5TH FLOOR PLAN (CONSTRUCTION) 5TH FLOOR PLAN (MARKETING)
Seal & Signature	
Date	3/6/15
Project #	14A16
Scale	AS NOTED
Drawn No.	A-105.01
Drawn No.	A-105.5TH FLOOR

[illegible][illegible]

Number:	Date:	Revision:
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PROJECT:
RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

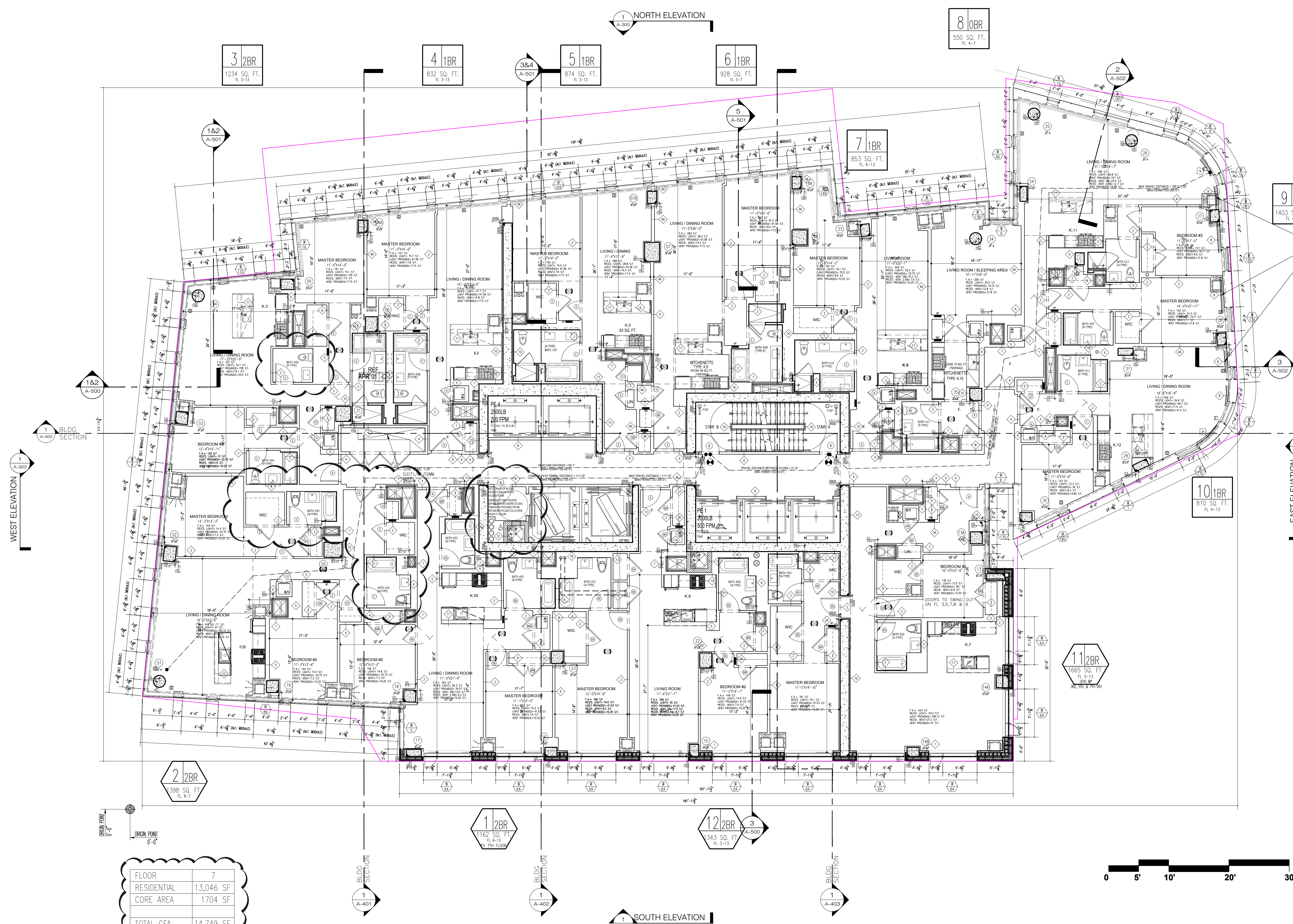
MEPFP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER: **CHAMPALIMAUD**
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:

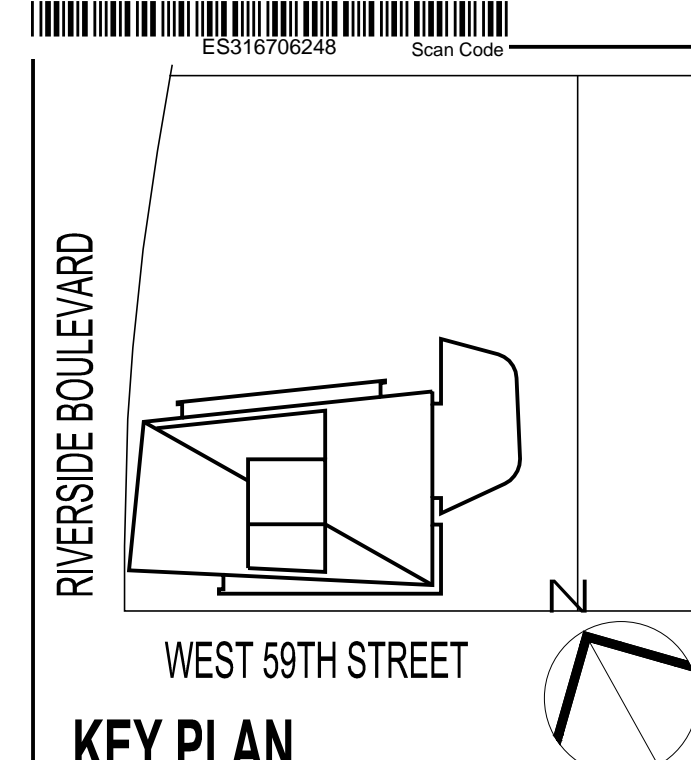


DWG TITLE:
6TH FLOOR PLAN (CONSTRUCTION)
6TH FLOOR PLAN (MARKETING)

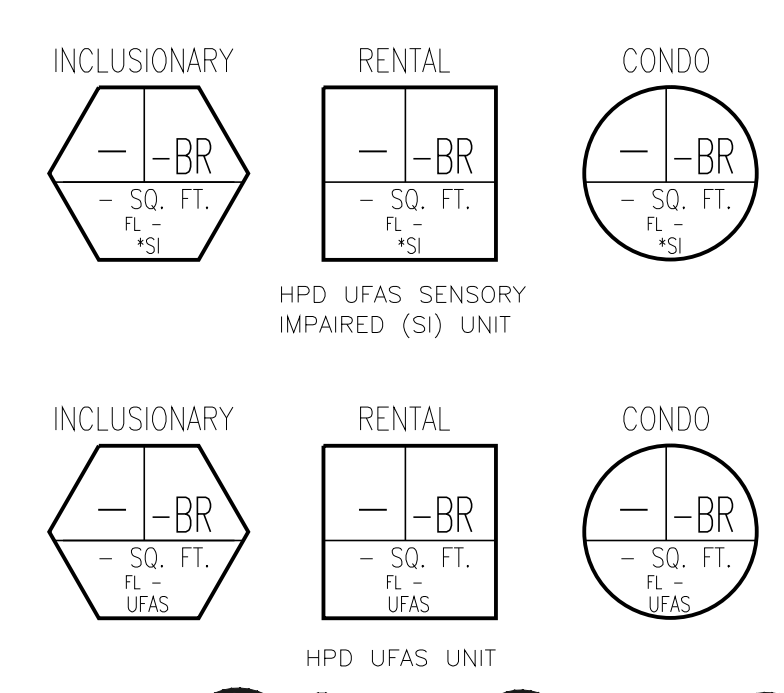
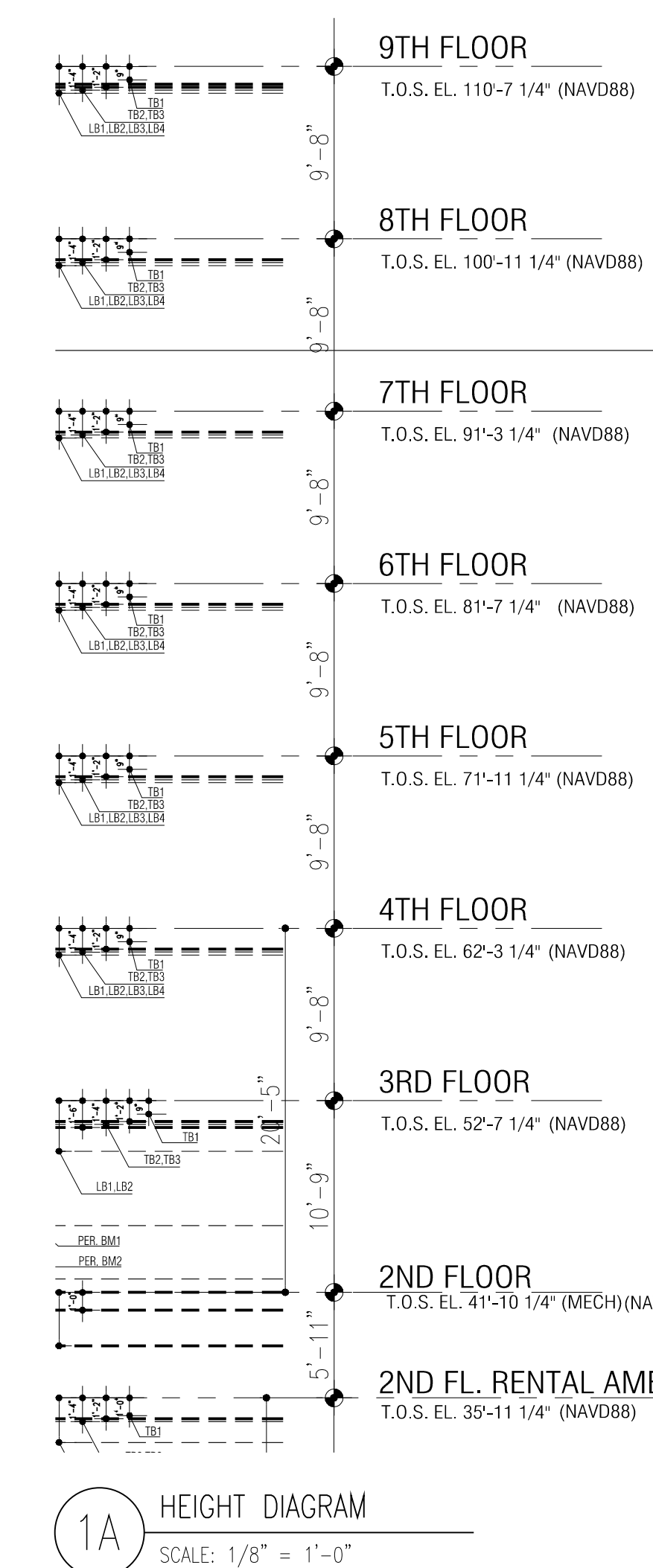


FLOOR	7
RESIDENTIAL	13,046 SF
CORE AREA	1704 SF
TOTAL GFA	14,749 SF

1 6TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN



7TH FLOOR			
PER B.C. 1004.1.1			
OCCUPANCY TYPE (B2)	NET AREA	NET FLOOR AREA (NET FLOOR AREA)	OCCUPANT COUNT
APARTMENT			
1	1162	208	6
2	1358	208	7
3	1246	208	7
4	863	208	5
5	866	208	5
6	949	208	5
7	888	208	5
8	550	208	3
9	1454	208	8
10	815	208	5
11	1965	208	9
12	1343	208	7
TOTAL	1394 SQ. FT.		72

CONSTRUCTION CLASS 1B

DOOR CAPACITY: PER B.C. 1004.1.1, CAPACITY OF DOOR TO STAIR AND STAIR IS 180 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)

DOOR WIDTH: PER B.C. 1004.1.1, THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY: PER 1004.1, CAPACITY OF STAIR AND IS 146 PEOPLE PER 44" WIDE STAIR. TOTAL OF 280 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)

NOTE: ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED

ALL CORRIDOR ELEVATOR AND STAIR DOORS TO BE 1 - 1 1/2 HR. RATED

F.P.S.C.

FULL COMPLIANCE WITH NYCEC.

EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS.

ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.

PROPOSED EXIT PASSAGEWAY COMPLIES WITH B.C. 1004.1.1 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHES.

ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.

IF REQUESTED BY AHA PERSON, HE SHALL PROVIDE AN ACCESSIBLE HANDICAPPED UNIT.

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/02/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	08/01/2015	DOB SUBMISSION
2	07/01/2015	DOB SUBMISSION
1	10/06/2014	DOB SUBMISSION

Owner	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
Project	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY
Executive Architect	HILL WEST ARCHITECTS 11 BROADWAY 17TH FLOOR NEW YORK, NY 10004 T. 212 219 8007
Design Architect	RICHARD MEIER & PARTNERS ARCHITECTS, LLP 475 Tenth Avenue New York, NY 10018 Tel: (212) 967-6060
Structural Engineer	WSP BUILDING SYSTEMS CONSULTING ENGINEERS 228 East 45th St, 3rd Floor New York, NY 10017 Tel: (212) 687-9888 Fax: (646) 487-5501
MEP/Electrical Engineer	WSP BUILDING SYSTEMS CONSULTING ENGINEERS 512 Seventh Avenue New York, NY 10018 Tel: (212) 532-9600
Interior Designer	CHAMPALIMAUD 475 Tenth Avenue, 10th Floor New York, NY 10018 Tel: (212) 807-8869
DOB Stamps & Signatures	Victor Daza APPROVED Under Director's of DOCS AMENDED APPLICATION Date: 12/21/2017 NYC Development Hub

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/ELECTRICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

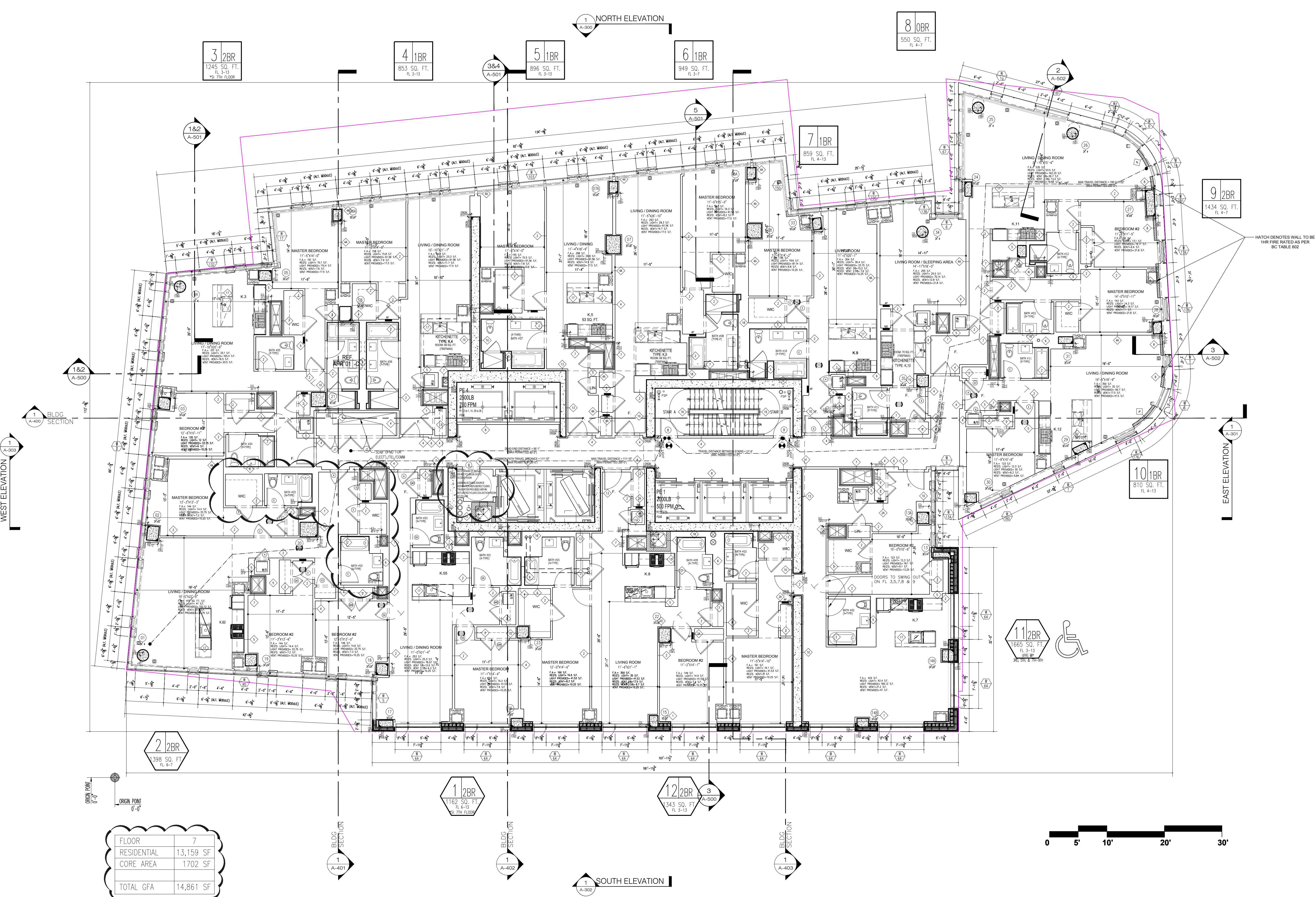
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES

Victor Daza
APPROVED
Under Director's of DOCS
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

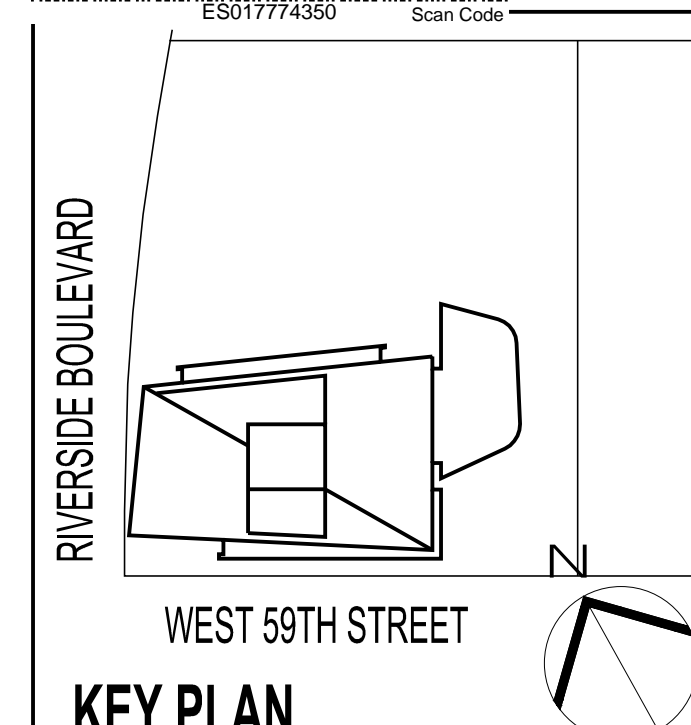
DWG TITLE:
7TH FLOOR PLAN (CONSTRUCTION)
7TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
VICTOR DAZA
DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-107.01
DWG NO.

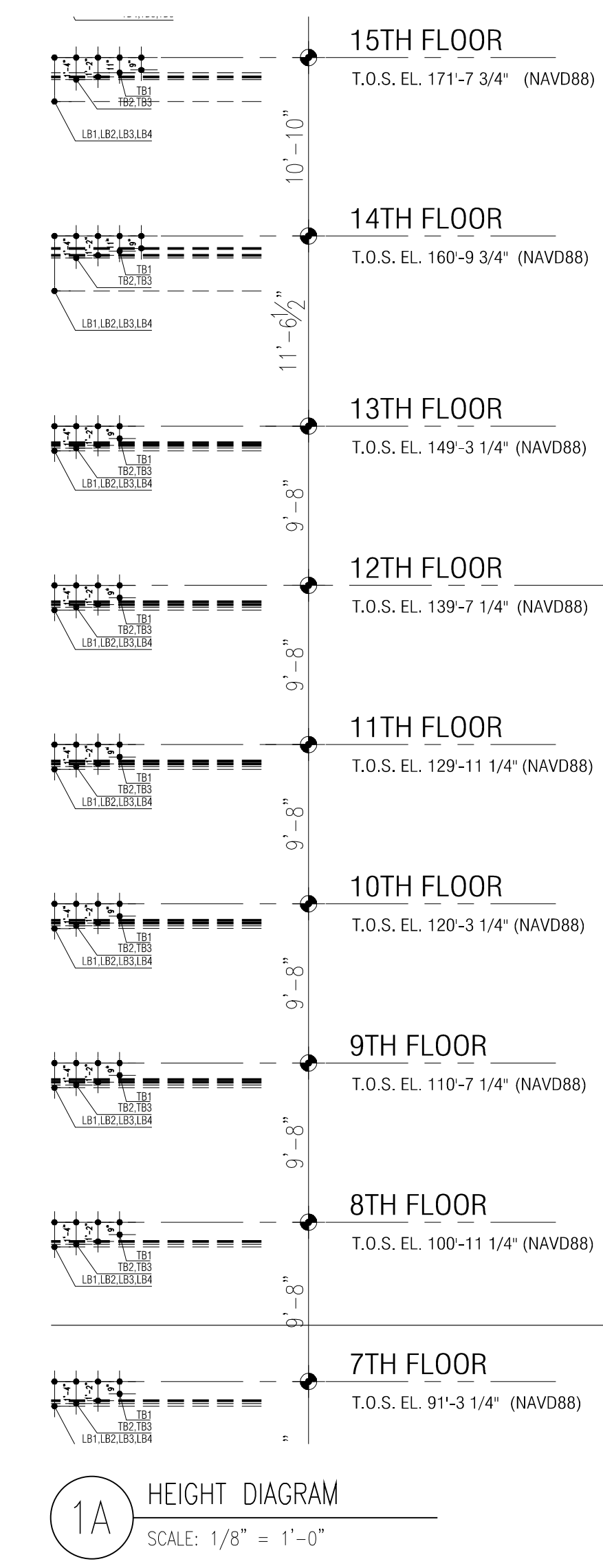


FLOOR	7
RESIDENTIAL	13,159 SF
CORE AREA	1702 SF
TOTAL GFA	14,861 SF

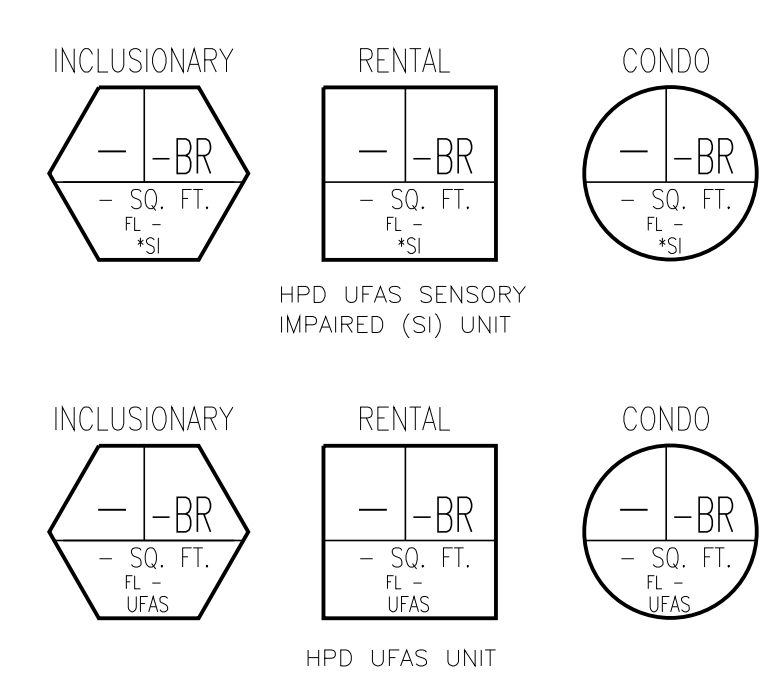
1 7TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



WEST 59TH STREET
KEY PLAN



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



OCCUPANCY TYPE R-2		PER B.C. 108.1.1	
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
APARTMENT			
1	1162	208	6
2	1356	208	7
3	1296	208	7
4	873	208	5
5	887	208	5
6	975	208	5
7	883	208	5
8	558	208	3
9	1483	208	8
10	875	208	5
11	1465	208	9
12	1343	208	7
TOTAL	12292 SQ. FT.		72

CONSTRUCTION CLASS 1B
FLOOR CAPACITY: PER B.C. 108.1
CAPACITY OF ROOMS TO STAIRS & STAIRS IS 180 PEOPLE PER 30' WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)
DOOR WIDTH: PER B.C. 108.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY: PER 108.1
CAPACITY OF STAIRS AND IS 146 PEOPLE PER 44' WIDE STAIR. TOTAL OF 292 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED
FULL COMPLIANCE WITH NYCEC
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
PROPOSED EXIT PASSAGEWAY COMPLIES WITH BCD-1000 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHES
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE
IF REQUESTED BY AIA PERSON, HE SHALL PROVIDE AN ACCESSIBLE WASHROOM UNIT

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/03/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	08/21/2015	DOB SUBMISSION
2	07/21/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/FP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

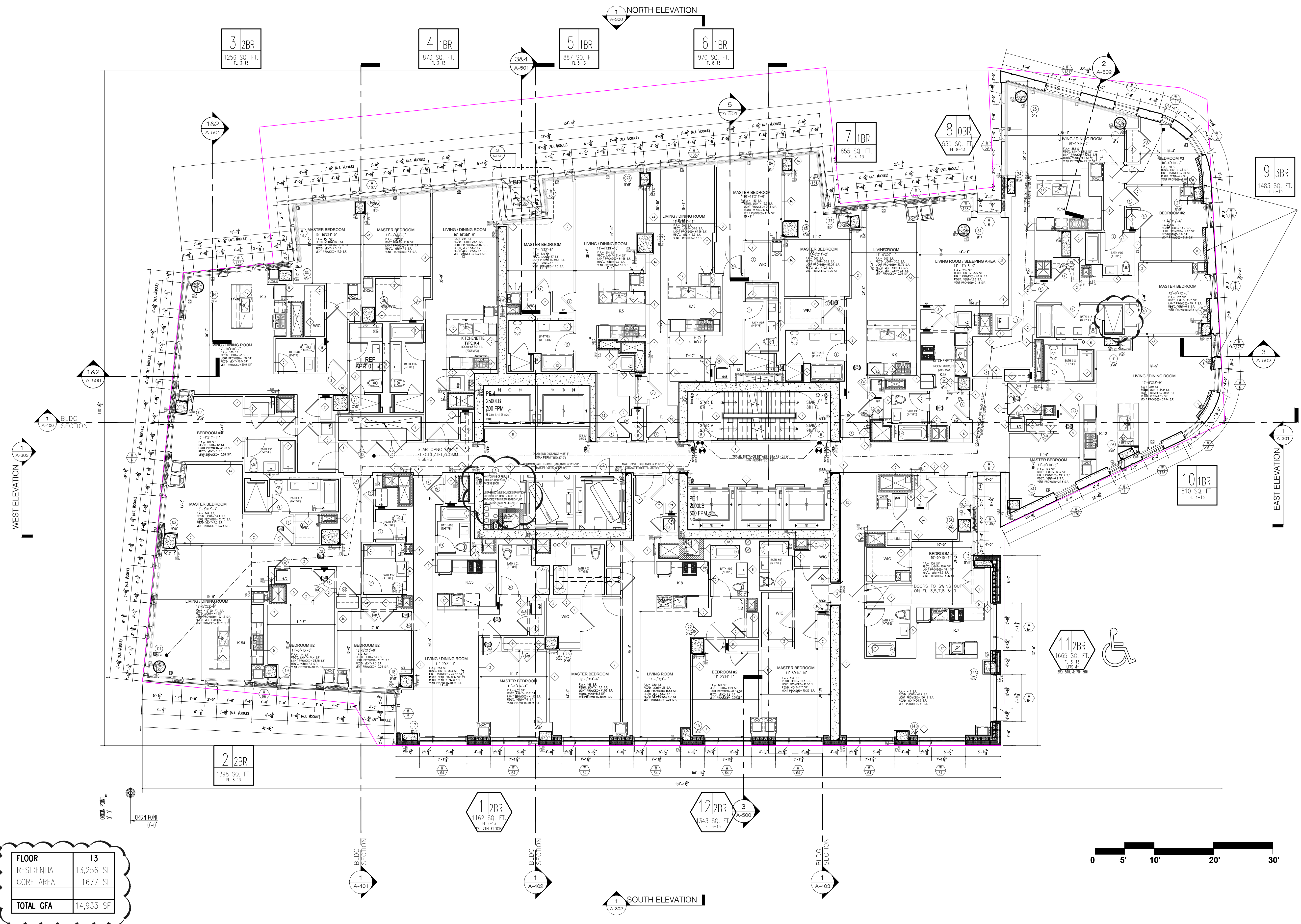
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:



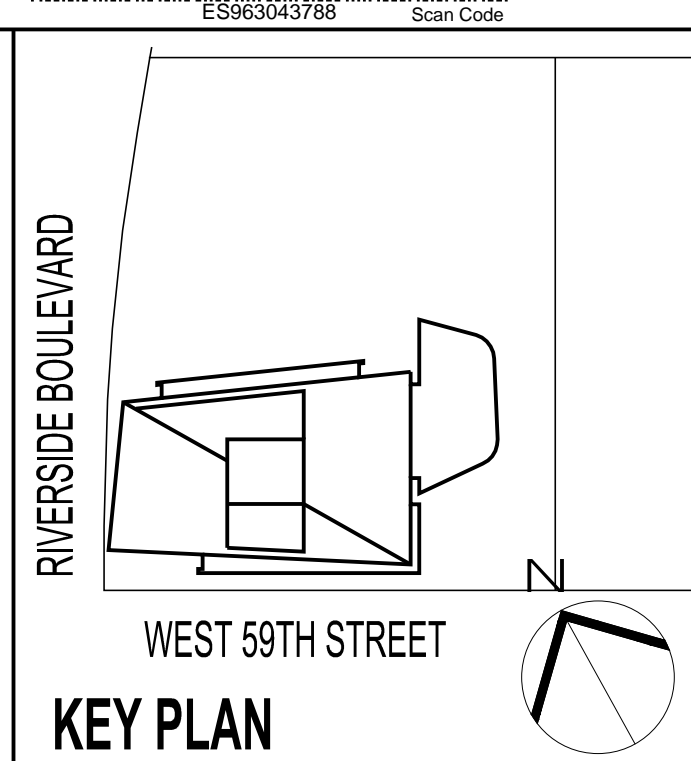
DWG TITLE:
8TH FLOOR PLAN (CONSTRUCTION)
8TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: REGISTERED ARCHITECT AND STEPHEN T. L.	DATE: 3/6/15
PROJECT #: 14A16	SCALE: AS NOTED
A-108.01	
DWG NO.	
A-108_8TH FLOOR	

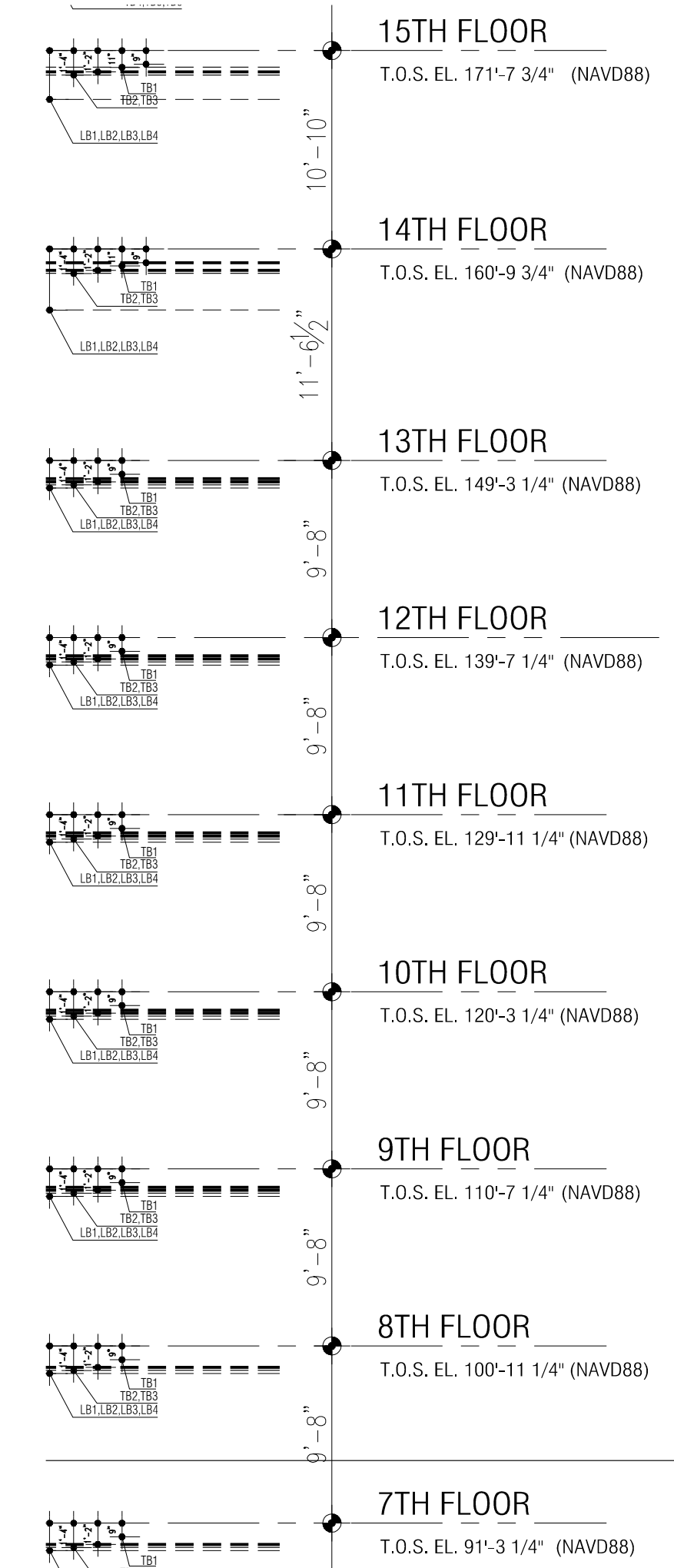


FLOOR	13
RESIDENTIAL	13,256 SF
CORE AREA	1677 SF
TOTAL GFA	14,933 SF

1 8TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"

Number	Date	Revision
6	10/20/2017	000 SUBMISSION
7	10/14/2016	000 ALT. 7
8	07/25/2016	000 SUBMISSION
9	06/07/2016	000 SUBMISSION
10	06/03/2016	000 SUBMISSION
11	06/03/2016	000 SUBMISSION
12	01/21/2015	000 SUBMISSION
13	01/21/2015	000 SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

DESIGN ARCHITECT:
HILL | WEST
ARCHITECTS, LLP
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-6000

STRUCTURAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MECHANICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

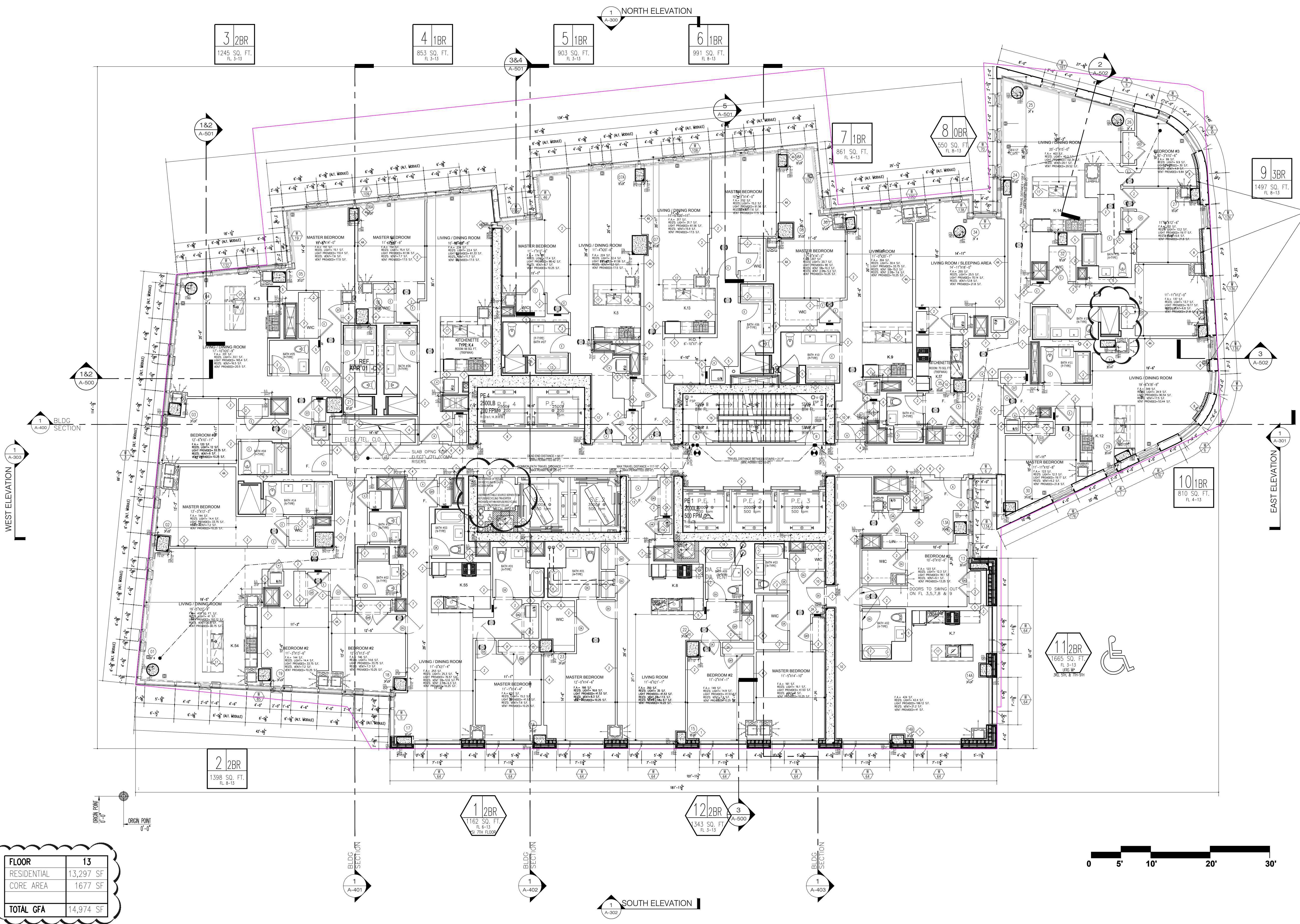
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 607-8869

DOB STAMPS & SIGNATURES:

Victor Daza
APPROVED
Under Direction of City of NY
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

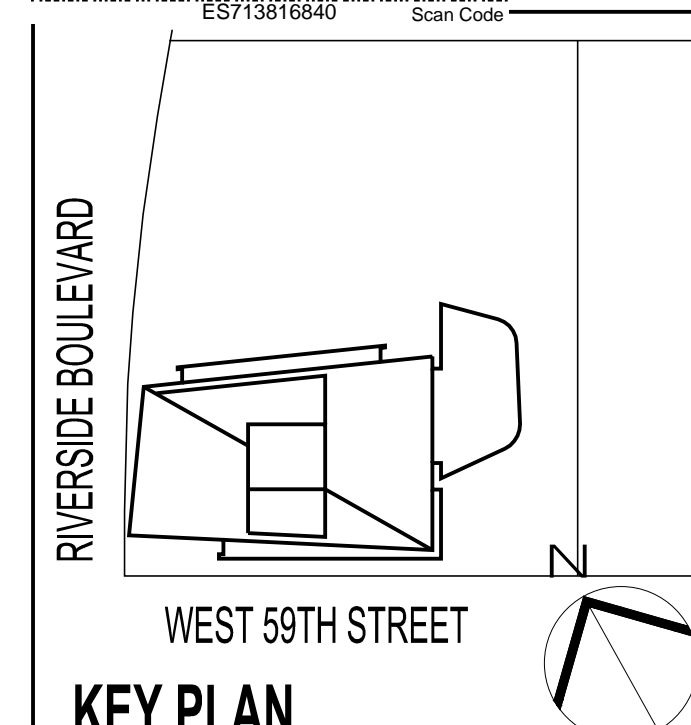
DWG TITLE:
9TH FLOOR PLAN (CONSTRUCTION)
9TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
VICTOR DAZA
DATE: 3/6/15
PROJECT #: 14416
SCALE: AS NOTED
A-109.01
DWG NO.
109_9TH FLOOR

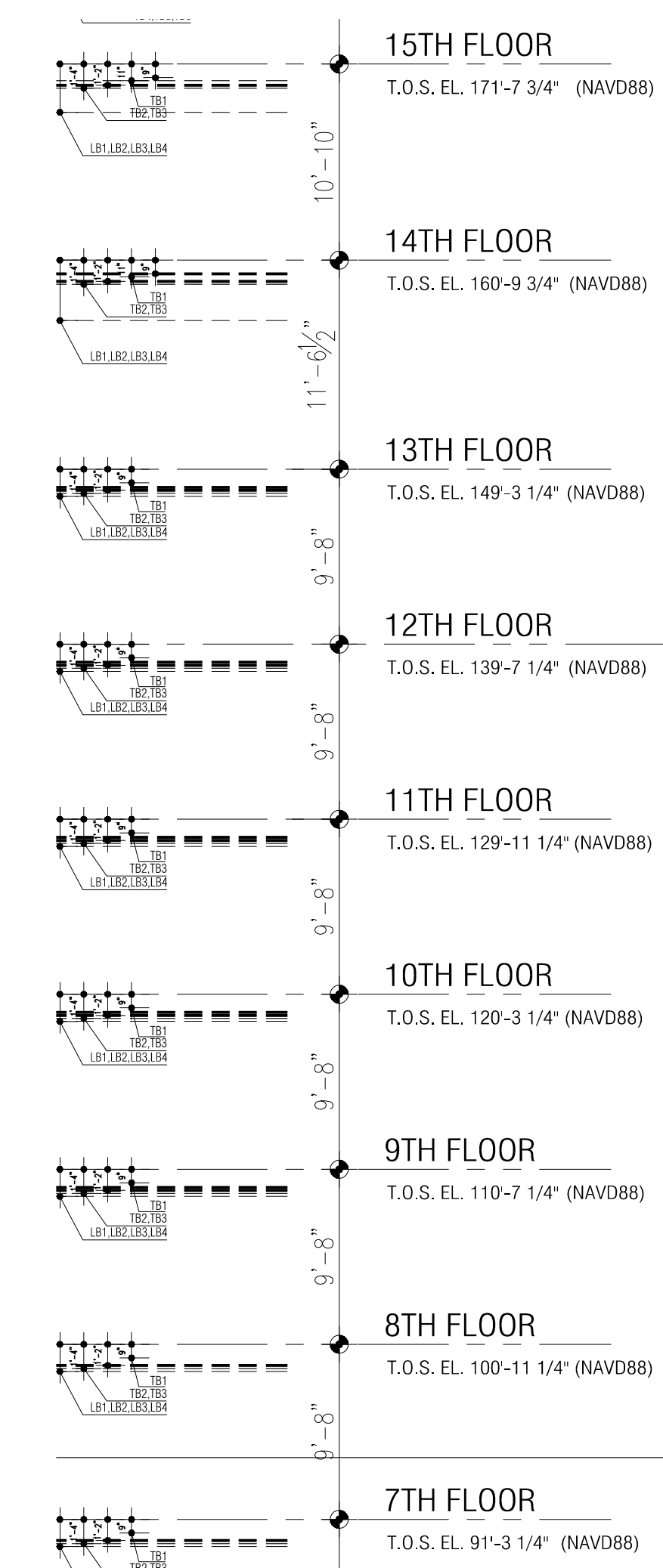


FLOOR	13
RESIDENTIAL CORE AREA	13,297 SF 1677 SF
TOTAL GFA	14,974 SF

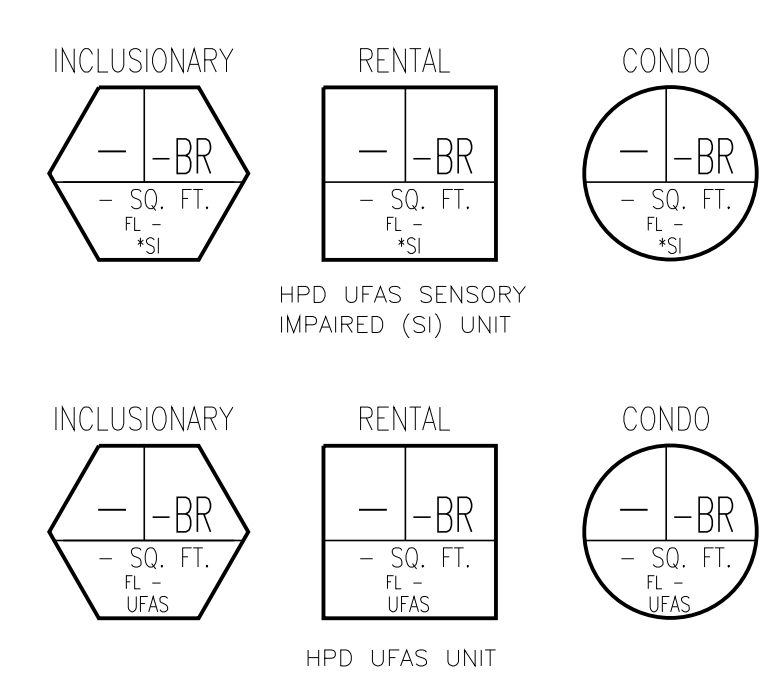
1 9TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



WEST 59TH STREET
KEY PLAN



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



10TH FLOOR			
PER B.C. 10M 1.1			
OCCUPANCY TYPE (B2)	NET AREA	NET GROSS WORK AREA	OCCUPANT COUNT
APARTMENT			
1	1162	200	6
2	1356	200	7
3	1204	200	7
4	825	200	5
5	897	200	5
6	915	200	5
7	871	200	5
8	650	200	3
9	1528	200	8
10	815	200	5
11	1965	200	9
12	1343	200	7
TOTAL	12336 SQ. FT.		73

CONSTRUCTION CASE 18
DOOR CAPACITY: PER B.C. 10M 1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 180 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)
DOOR WIDTH: PER B.C. 10M 1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY: PER 10M 1
CAPACITY OF STAIR A AND B IS 144 PEOPLE PER 44" WIDE STAIR. TOTAL OF 288 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED
F.P.R.C.
FULL COMPLIANCE WITH NYCEC
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
PROPOSED EXIT PASSAGEWAY COMPLIES WITH BCODS WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHES
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF DISCREPANCY IN ANY PORTION OF THIS PLAN, PROVIDE AS SHOWN, UNLESS NOTED OTHERWISE.

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/03/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	09/21/2015	DOB SUBMISSION
2	07/21/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/ELECTRICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
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INTERIOR DESIGNER:
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475 Tenth Avenue, 10th Floor
New York, NY 10018
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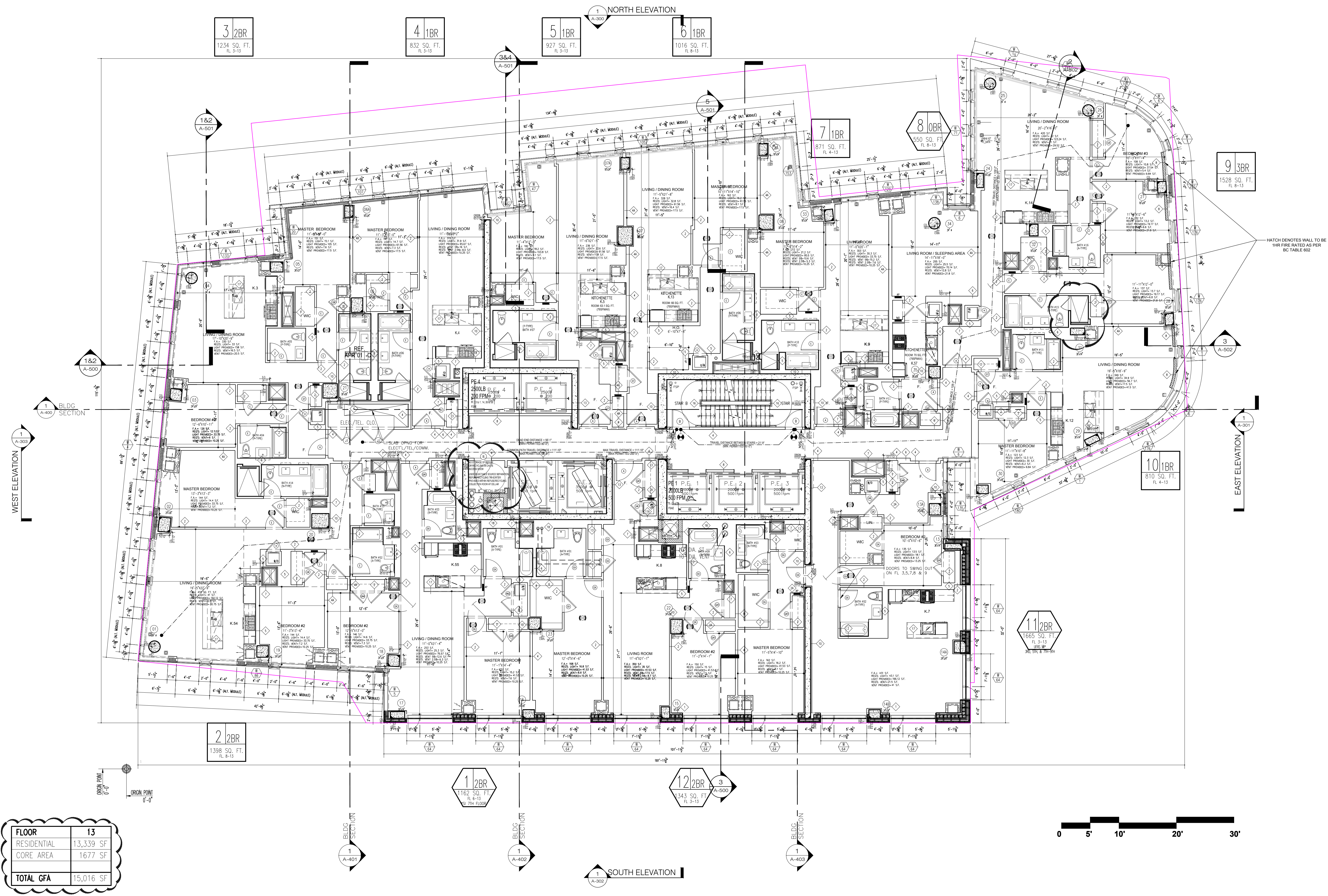
DOB STAMPS & SIGNATURES:



DWG TITLE:
10TH FLOOR PLAN (CONSTRUCTION)
10TH FLOOR PLAN (MARKETING)

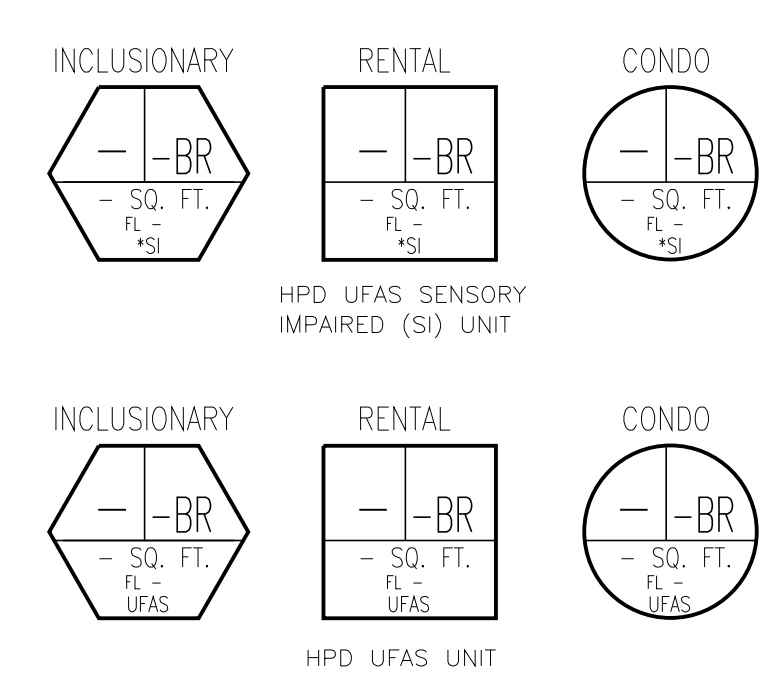
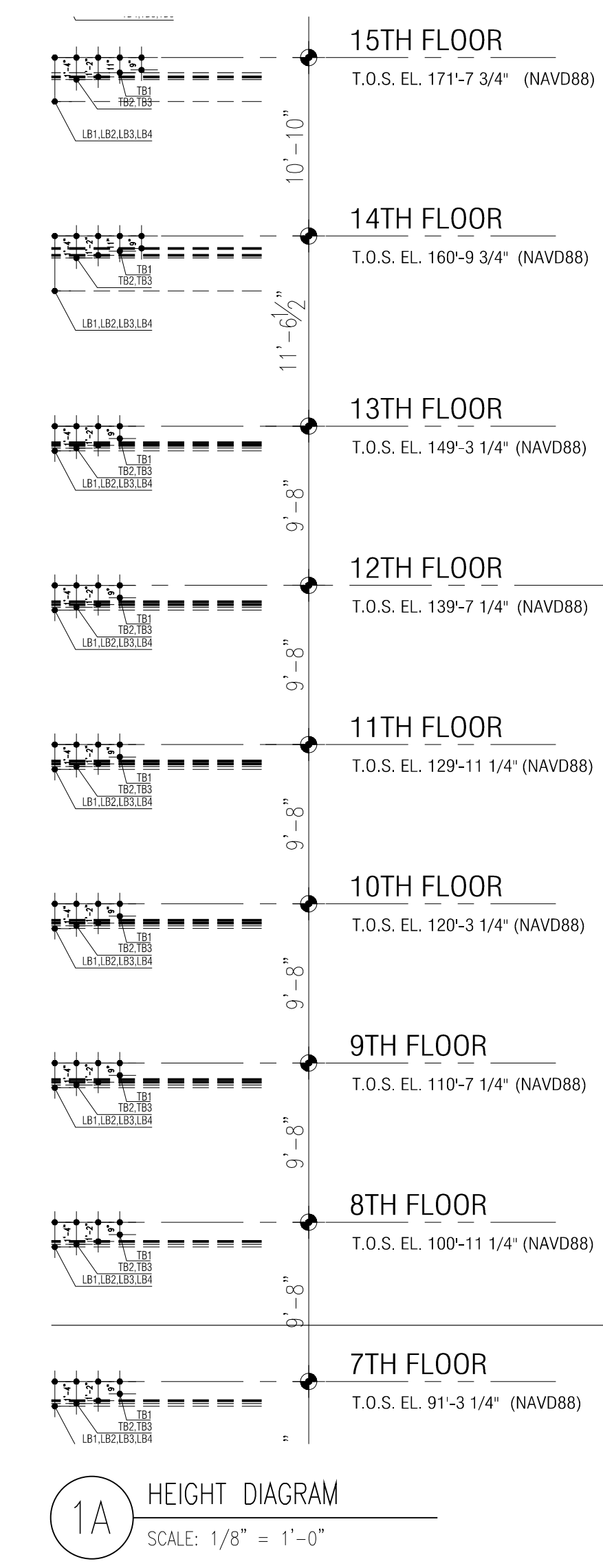
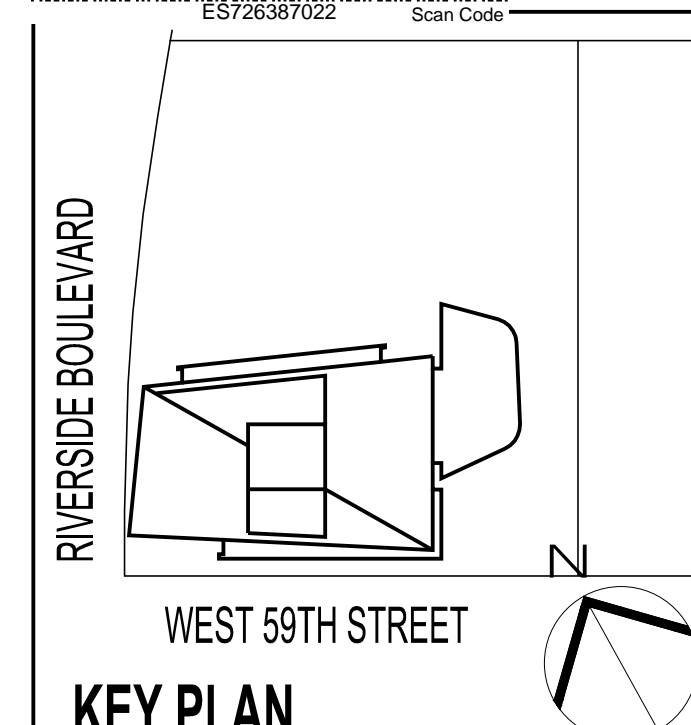
SEAL & SIGNATURE: REGISTERED ARCHITECT VICTOR DAZA NEW YORK, NY	DATE: 3/6/15
PROJECT #: 14A16	SCALE: AS NOTED
A-110.01	
DWG NO.	

A-110_10TH FLOOR



FLOOR	13
RESIDENTIAL	13,339 SF
CORE AREA	1677 SF
TOTAL GFA	15,016 SF

1 10TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



11TH FLOOR			
PER B.C. 1004.1.1			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
APARTMENT			
1	1162	200	6
2	1356	200	7
3	1226	200	7
4	914	200	5
5	943	200	5
6	1026	200	6
7	877	200	5
8	650	200	3
9	1059	200	6
10	619	200	5
11	1665	200	9
12	1343	200	7
TOTAL	12382 SQ. FT.		73

CONSTRUCTION CASE 18

100% CAPACITY PER B.C. 1004.1.1

CAPACITY OF ROOMS TO FORM A STAIR IS 180 PEOPLE PER 30' WIDE OPENING. TOTAL OF 360 PEOPLE.

TOTAL OCCUPANT LOAD COMPLIES WITH MAX. OCCUPANT LOAD.

DOOR WIDTH PER B.C. 1004.1.1

THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY PER 1004.1

CAPACITY OF STAIR AND IS 146 PEOPLE PER 44' WIDE STAIR. TOTAL OF 292 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX. STAIR CAPACITY)

NOTE

ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED

ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED

PER B.C. 1004.1.1

FULL COMPLIANCE WITH NYCEC

EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS

ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE

PROPOSED EXIT PASSAGEWAY COMPLIES WITH B.C. 1004.1.1 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHES

ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE

IF REQUESTED BY AN APPLICANT, WE WILL PROVIDE AN ENERGY CONSERVATION STATEMENT

Number	Date	Revision
8	10/30/2017	DB SUBMISSION
7	10/14/2016	DB AL 2
6	07/05/2016	DB SUBMISSION
5	06/02/2016	DB SUBMISSION
4	02/09/2016	DB SUBMISSION
3	09/01/2015	DB SUBMISSION
2	07/01/2015	DB SUBMISSION
1	10/06/2015	DB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
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STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MECHANICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:

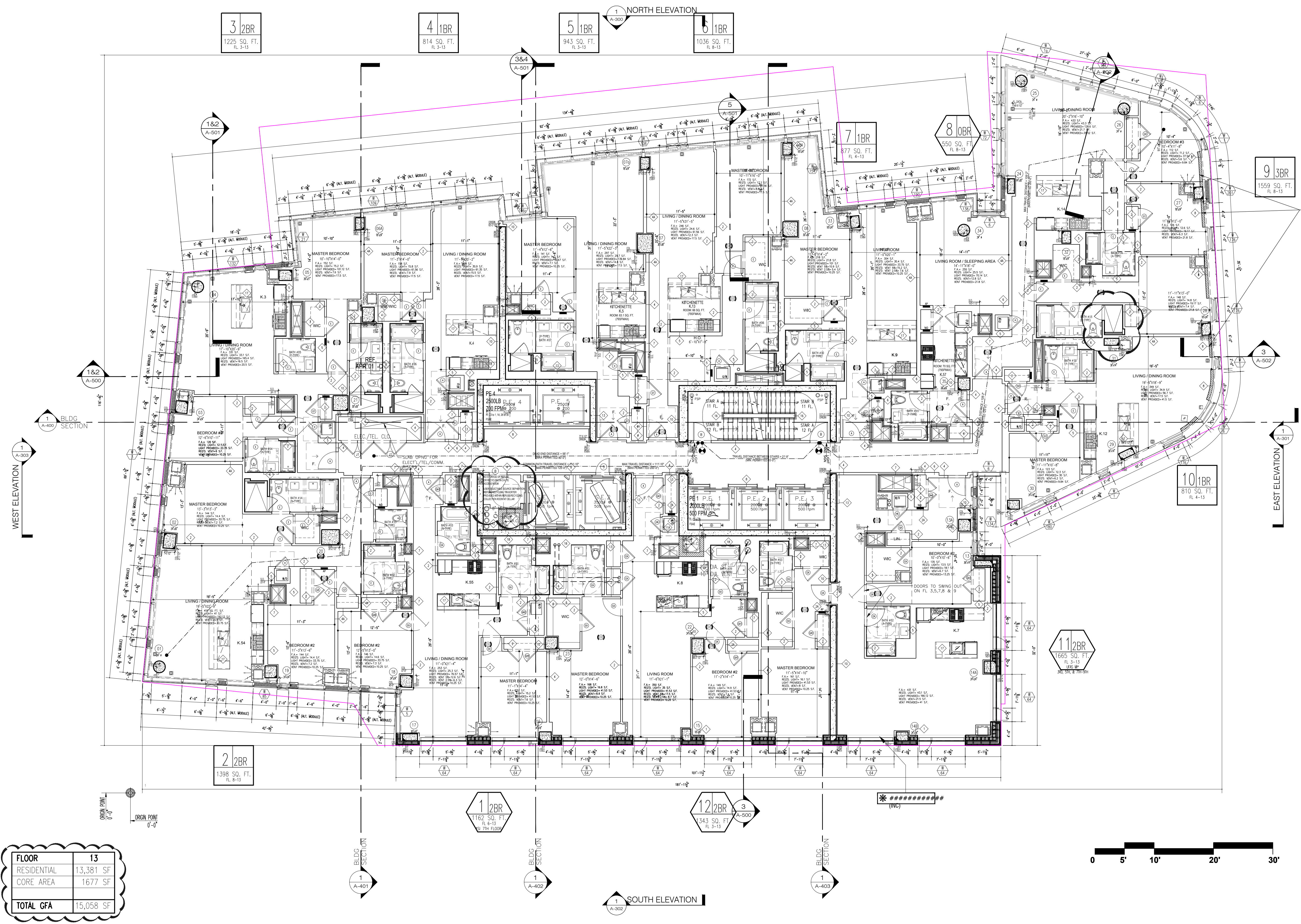
APPROVED
Under Director's Seal of 2015
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DWG TITLE:
11TH FLOOR PLAN (CONSTRUCTION)
11TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:

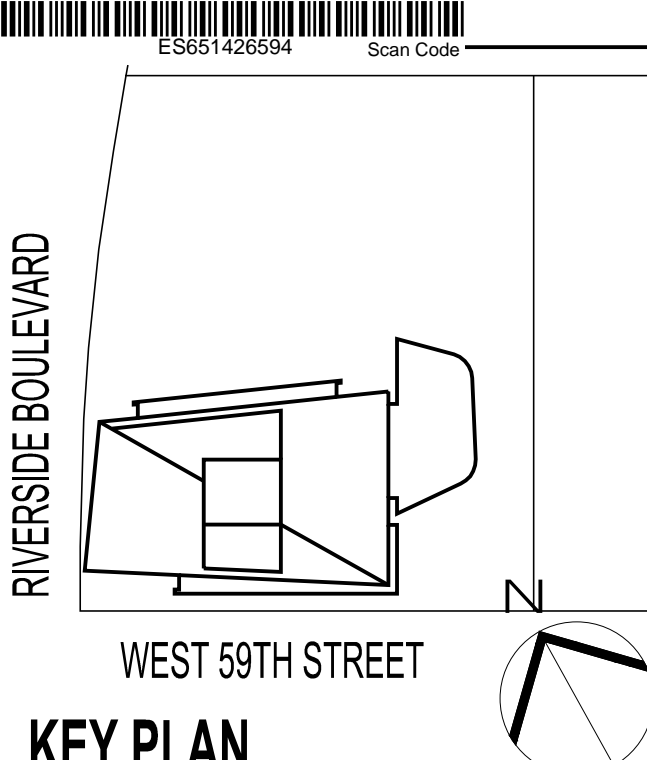
DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-111.01
DWG NO.

A-111_11TH FLOOR

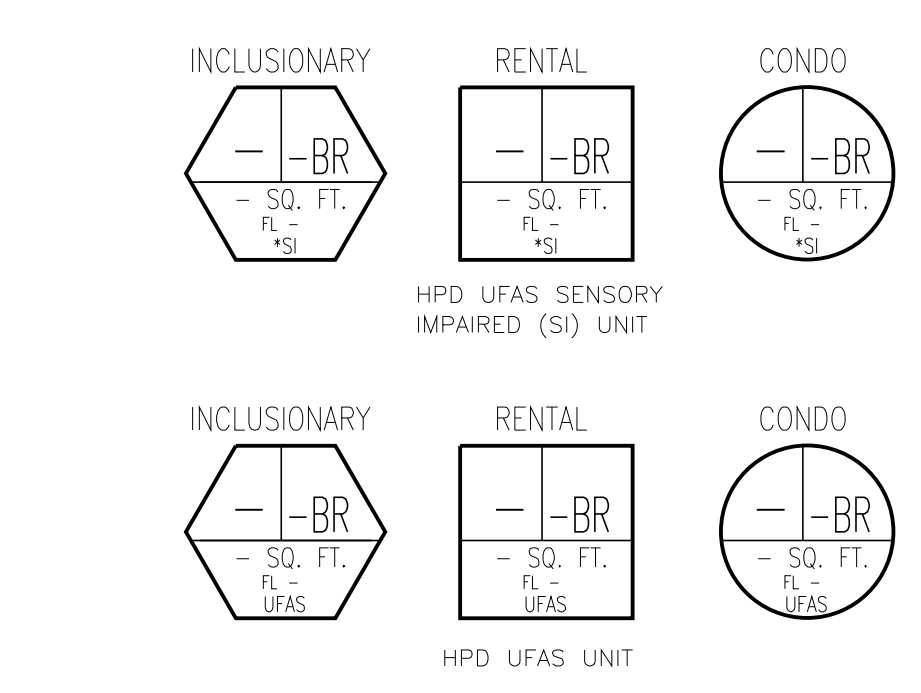
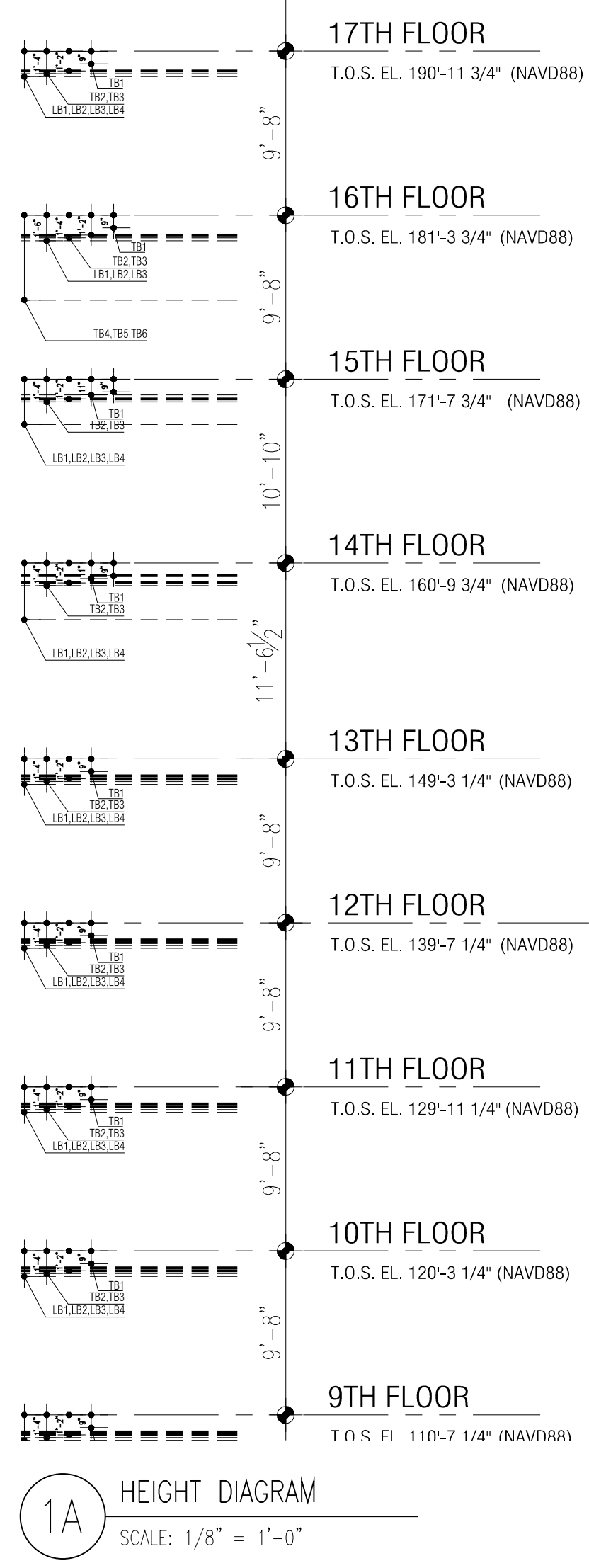


FLOOR	13
RESIDENTIAL	13,381 SF
CORE AREA	1677 SF
TOTAL GFA	15,058 SF

1 11TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN



OCCUPANCY TYPE R-2			
TYPE	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
1	1162	208	6
2	1358	208	7
3	1212	208	7
4	754	208	4
5	960	208	5
6	960	208	5
7	960	208	5
8	508	208	3
9	1358	208	8
10	815	208	5
11	1365	208	9
12	1343	208	7
TOTAL	13402 SQ. FT.		72

CONSTRUCTION CLASSES 1B

DOOR CAPACITY: PER I.C. 100.1
CAPACITY OF DOOR TO STAIR & STAIR B.S. IS 180 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)

DOOR WIDTH: PER I.C. 100.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY: PER I.C. 100.1
CAPACITY OF STAIR AND B.S. IS 146 PEOPLE PER 44" WIDE STAIR. TOTAL OF 292 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)

NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1 - 10 HR. RATED
F.P.R.C.
FULL COMPLIANCE WITH NYCEC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
PROPOSED EXIT PASSAGEWAY COMPLIES WITH IBC 1003 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHES
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE
E-REGISTERED IN NEW YORK STATE AS AN E-REGISTERED ARCHITECTURAL ENGINEER

8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/03/2016	DOB SUBMISSION
5	06/03/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	09/21/2015	DOB SUBMISSION
2	07/31/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MECHANICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8669

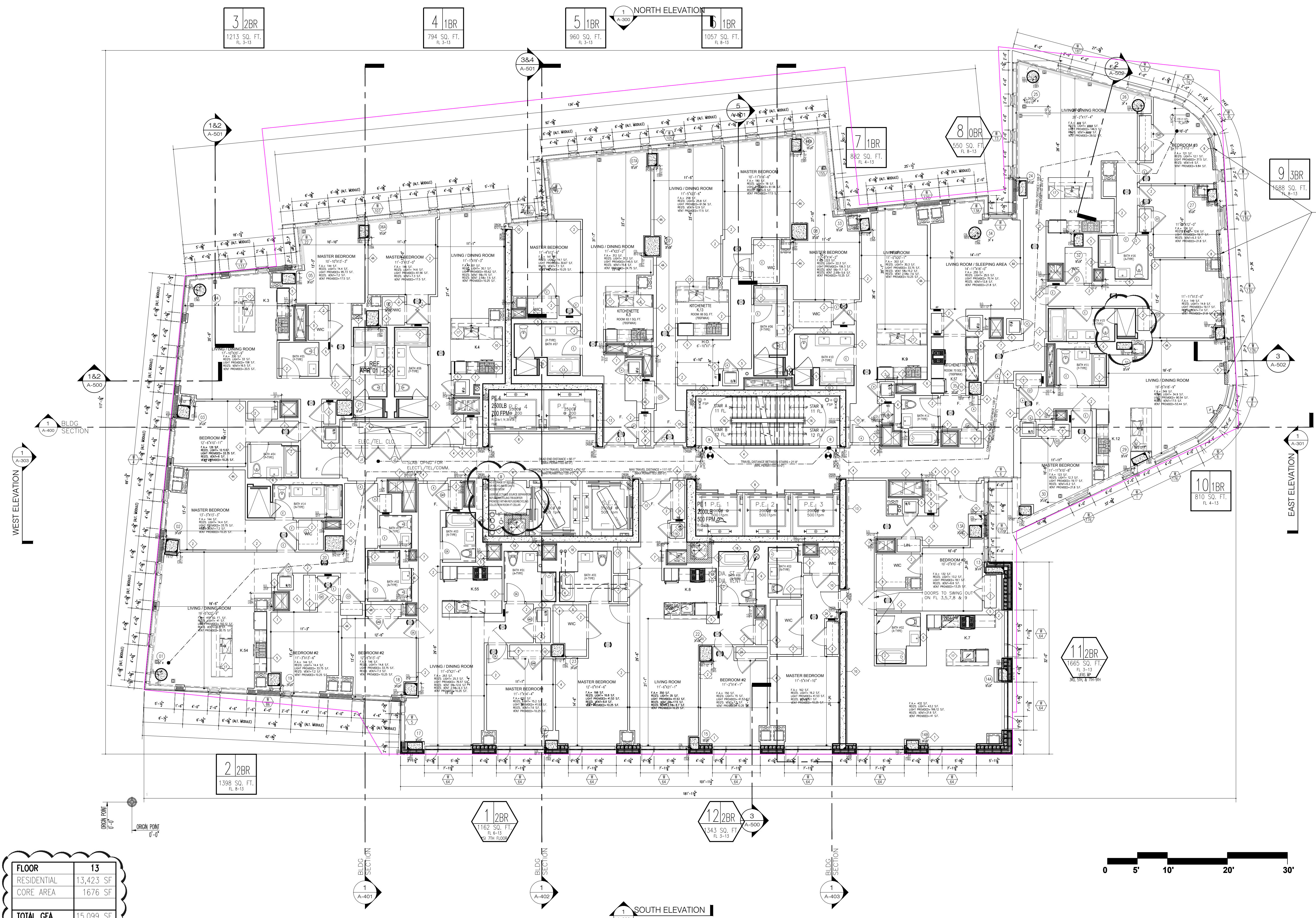
DOB STAMPS & SIGNATURES



DWG TITLE:
12TH FLOOR PLAN (CONSTRUCTION)
12TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: REGISTERED ARCHITECT VICTOR DAZA NEW YORK, NY	DATE: 3/6/15
PROJECT #: 14A16	SCALE: AS NOTED
A-112.01	
DWG NO.	

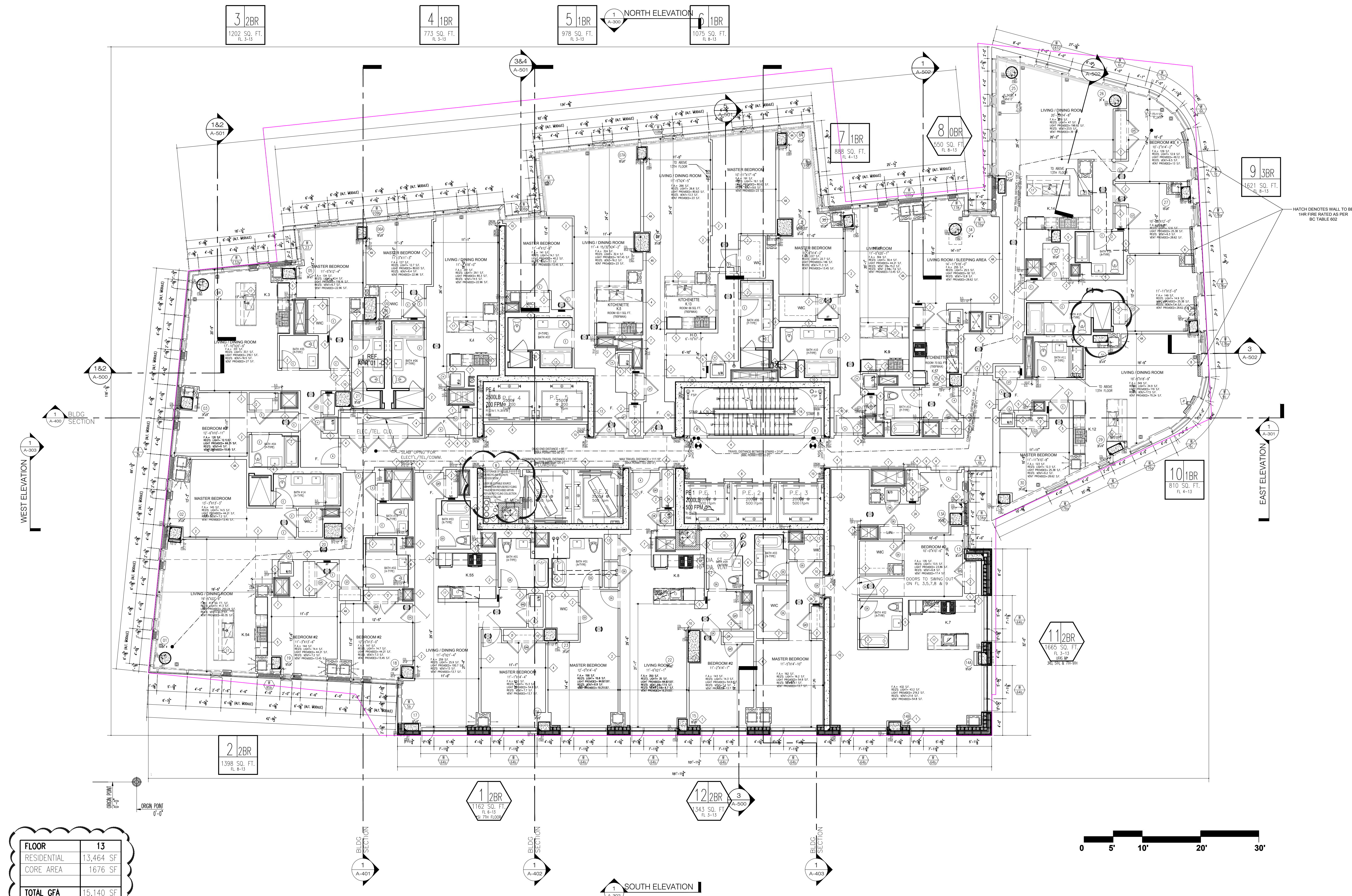
A-112_12TH FLOOR



FLOOR	13
RESIDENTIAL	13,423 SF
CORE AREA	1676 SF
TOTAL GFA	15,099 SF

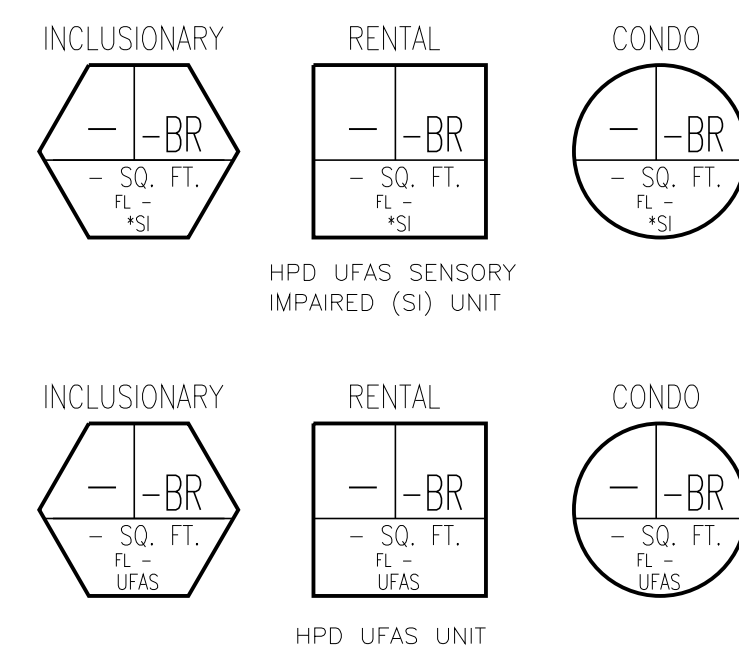
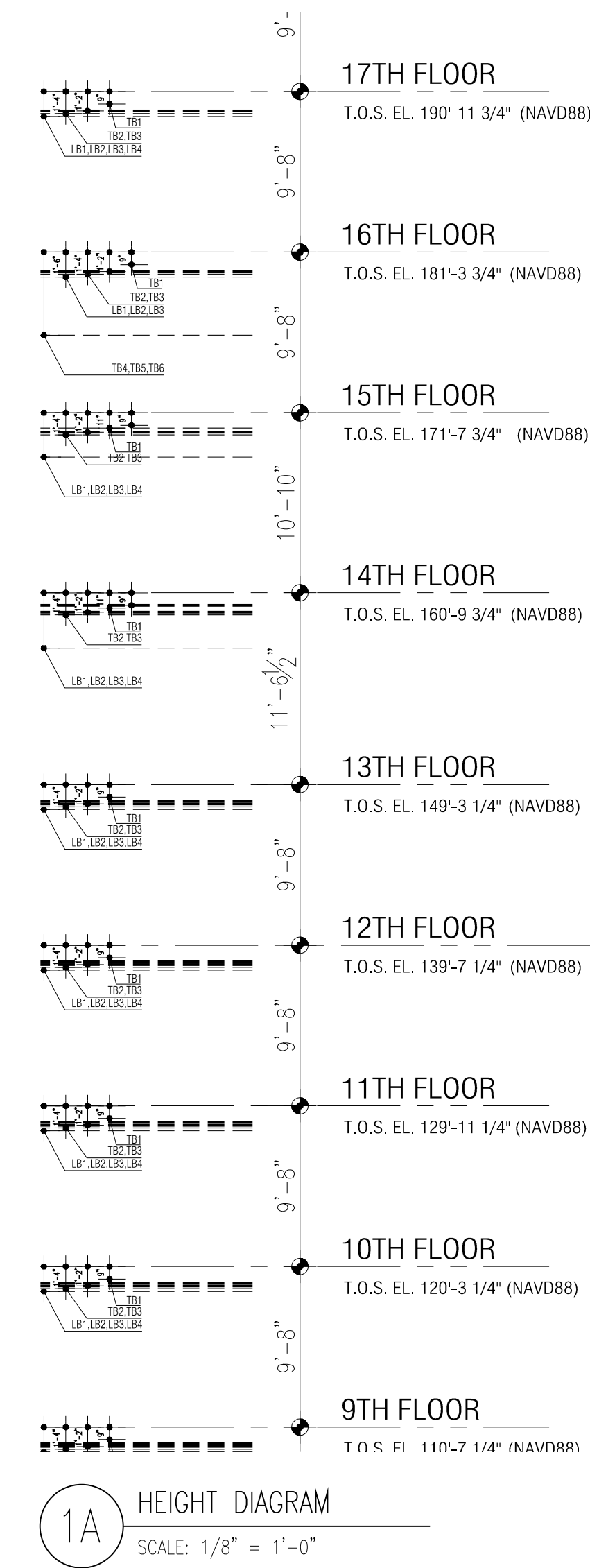
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SCALE: 1/8" = 1'-0"





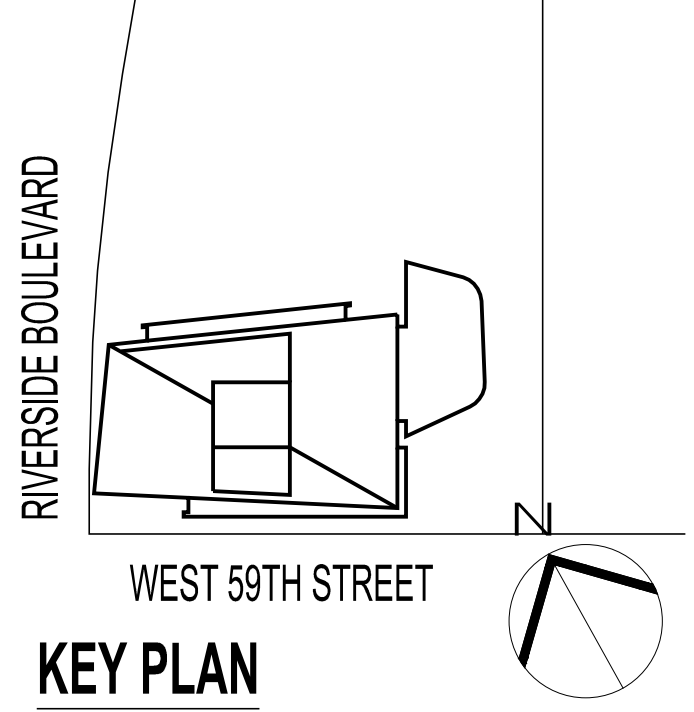
FLOOR	13
RESIDENTIAL	13,464 SF
CORE AREA	1676 SF
TOTAL GFA	15,140 SF

1 13TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



13TH FLOOR			
PER B.C. 1008.1.1			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
APARTMENT			
1	1162	200	6
2	1356	200	7
3	1000	200	7
4	773	200	4
5	978	200	5
6	975	200	5
7	888	200	5
8	550	200	3
9	1021	200	9
10	675	200	5
11	1065	200	9
12	1343	200	7
TOTAL	13860 SQ. FT.		73

CONSTRUCTION CASE 18
DOOR CAPACITY: PER B.C. 1008.1.1
CAPACITY OF DOOR TO STAIR AND STAIR IS 180 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY.
DOOR WIDTH: PER B.C. 1008.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY: PER 1008.1
CAPACITY OF STAIR AND STAIR IS 144 PEOPLE PER 44" WIDE STAIR. TOTAL OF 288 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR AND STAIR DOORS TO BE 1 - 10 HR. RATED
F.P.R.C.
FULL COMPLIANCE WITH NYCEC
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
PROPOSED EXIT PASSAGEWAY COMPLIES WITH B.C. 1008.1.1 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHES
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE
IF REQUESTED BY AIA PERSON, HE SHALL PROVIDE AN ACCESSIBLE HANDICAPPED UNIT



Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB AL-2
6	07/05/2016	DOB SUBMISSION
5	06/03/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	09/01/2015	DOB SUBMISSION
2	07/01/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/FIT ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

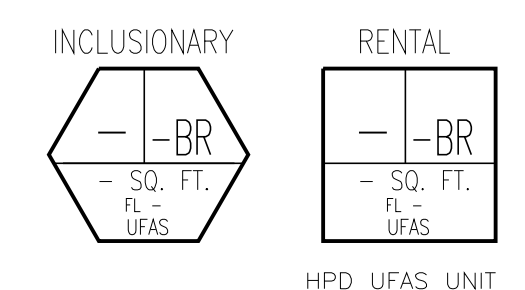
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:

DWG TITLE:
13TH FLOOR PLAN (CONSTRUCTION)
14TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:

DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-113.01
DWG NO.

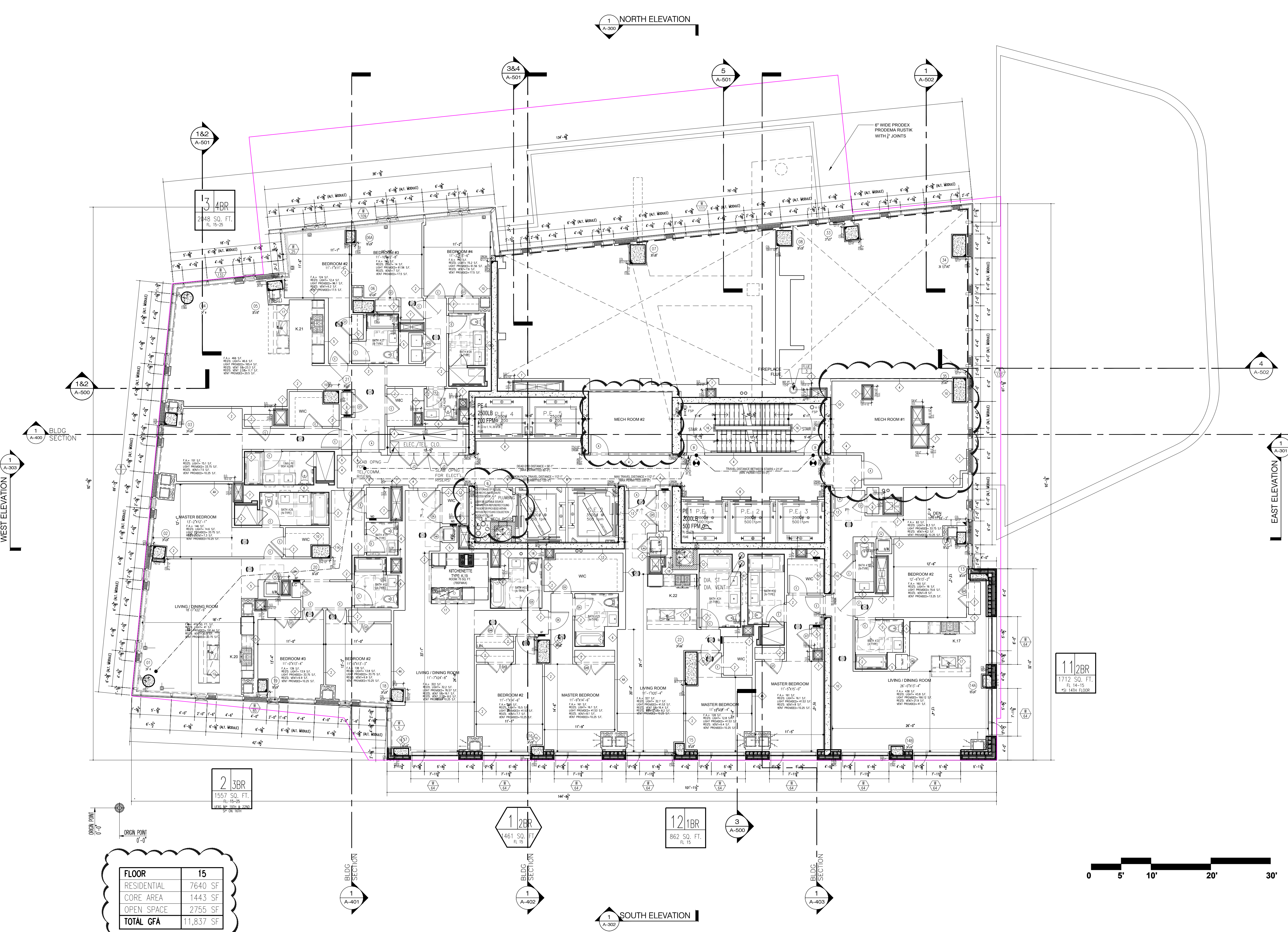
[illegible]

NOTE:

ALL GROUP R-2 OCCUPANCY DOORS AND WINDOWS, INCLUDING ALL BUILDING EXIT DOORS, OTHER EXTERIOR DOORS, AND ALL DOORS AND WINDOWS OF DWELLING UNITS SHALL COMPLY WITH SECTIONS 1008.4.1 THROUGH 1008.4.4 OF THE 2014 NY BUILDING CODE.

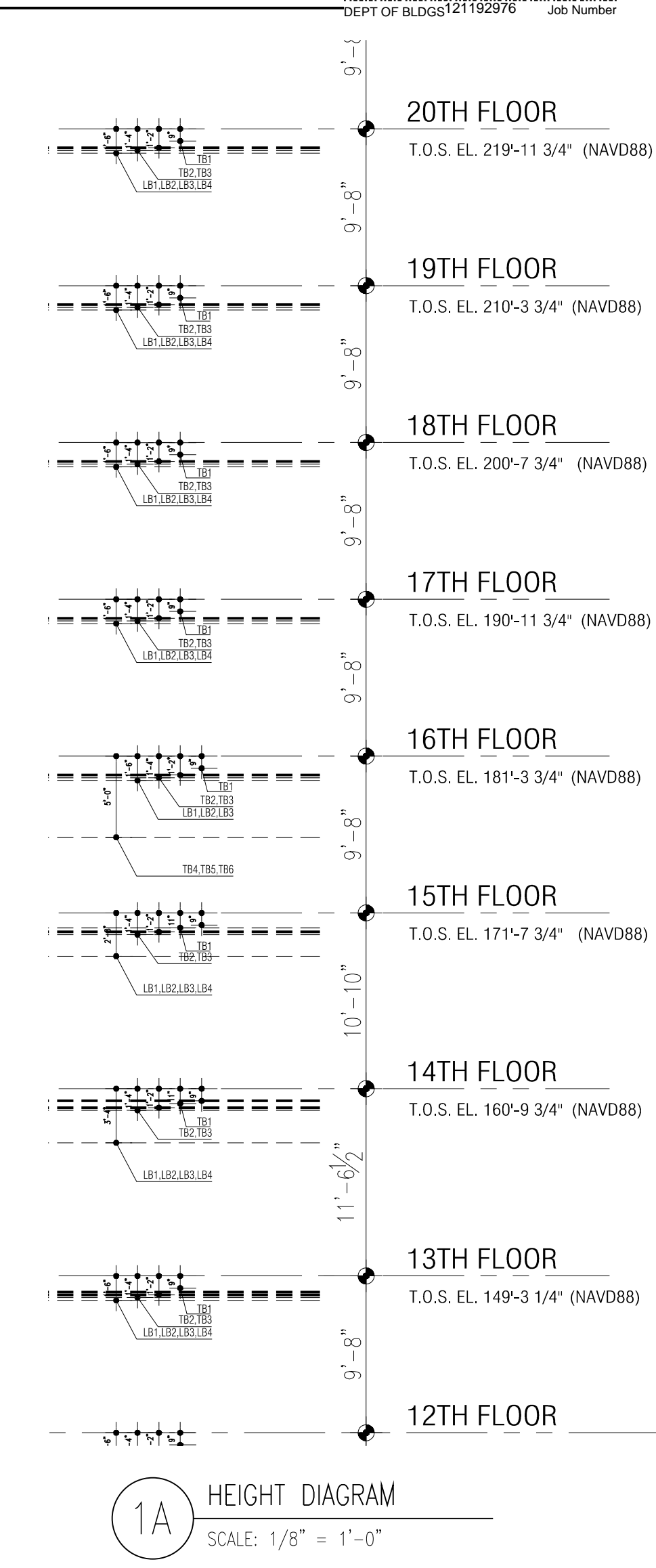
1 14TH FLOOR PL
SCALE: 1/8" = 1'-0"



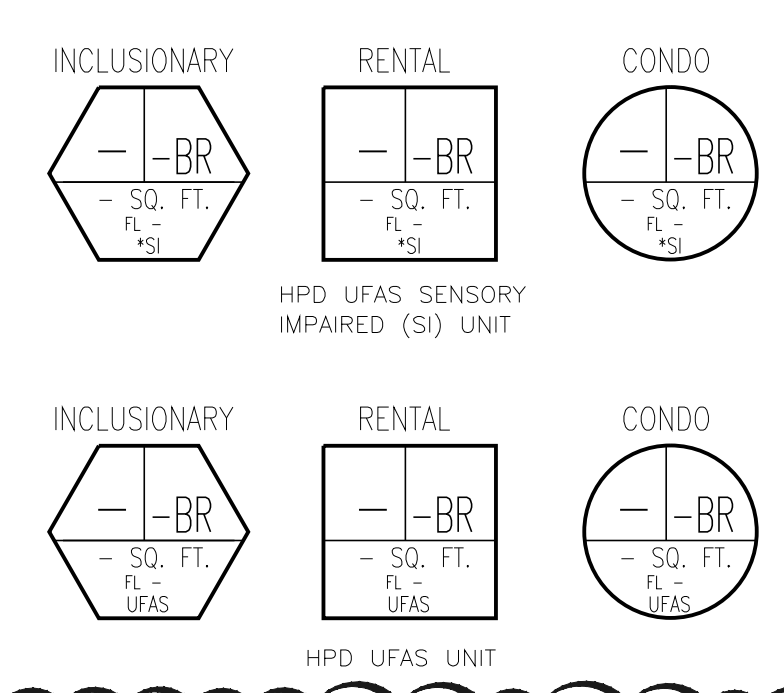


FLOOR	15
RESIDENTIAL	7640 SF
CORE AREA	1443 SF
OPEN SPACE	2755 SF
TOTAL GFA	11,837 SF

1 15TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



15TH FLOOR			
PER B.C. 10M 1.1			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
APARTMENT			
1	1401	200	8
2	1507	200	8
3	2006	200	11
11	1712	200	9
12	862	200	5
TOTAL	7640 SQ. FT.		41

CONSTRUCTION CLASS 1B
DOOR CAPACITY, PER B.C. 10M 1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 180 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)
DOOR WIDTH, PER B.C. 10M 1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 30". (COMPLIES)
STAIR CAPACITY, PER 10M 1.1
CAPACITY OF STAIR A AND B IS 180 PEOPLE PER 44" WIDE STAIR. TOTAL OF 360 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
ELEVATOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED
F.P.S.C.
FULL COMPLIANCE WITH NYCDC
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS
ENTRANCE DOOR TO THE BUILDING SHALL BE 30" WIDE WITH RECESSED DOOR, HEIGHT, CONSTRUCTION, OPENING, AND FINISHES
PROPOSED EXIT PASSAGEWAY COMPLIES WITH B.C. 10M 1.1 WITH RECESSED DOOR, HEIGHT, CONSTRUCTION, OPENING, AND FINISHES
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY ABA PERSON, WE WILL PROVIDE AN ACCESSIBLE WHEELCHAIR UNIT.

PROJECT OF BLOCK 21102076

JOB NUMBER

JOB DATE

RIVERSIDE BOULEVARD

WEST 59TH STREET

KEY PLAN

20TH FLOOR
T.O.S. EL. 219'-11 3/4" (NAVD88)

19TH FLOOR
T.O.S. EL. 210'-3 3/4" (NAVD88)

18TH FLOOR
T.O.S. EL. 200'-7 3/4" (NAVD88)

17TH FLOOR
T.O.S. EL. 190'-11 3/4" (NAVD88)

16TH FLOOR
T.O.S. EL. 181'-3 3/4" (NAVD88)

15TH FLOOR
T.O.S. EL. 171'-7 3/4" (NAVD88)

14TH FLOOR
T.O.S. EL. 160'-9 3/4" (NAVD88)

13TH FLOOR
T.O.S. EL. 149'-3 1/4" (NAVD88)

12TH FLOOR

8. 10/30/2017
7. 10/14/2017
6. 07/25/2016
5. 06/23/2016
4. 02/09/2016
3. 08/21/2015
2. 07/21/2015
1. 10/06/2014

DOB SUBMISSION
DOB ALT 2
DOB SUBMISSION
DOB SUBMISSION
DOB SUBMISSION
DOB SUBMISSION
DOB SUBMISSION
DOB SUBMISSION

Number	Date	Revision
1	10/30/2017	DOB SUBMISSION
2	07/25/2016	DOB SUBMISSION
3	08/21/2015	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
5	06/23/2016	DOB SUBMISSION
6	07/25/2016	DOB SUBMISSION
7	10/14/2017	DOB ALT 2
8	10/30/2017	DOB SUBMISSION

OWNER

GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT

RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT

RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER

WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/ELECTRICAL ENGINEER

WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER

CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES

Victor Daza
DOB STAMP
APPROVED
Under Director's of DOCS
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DOB TITLE

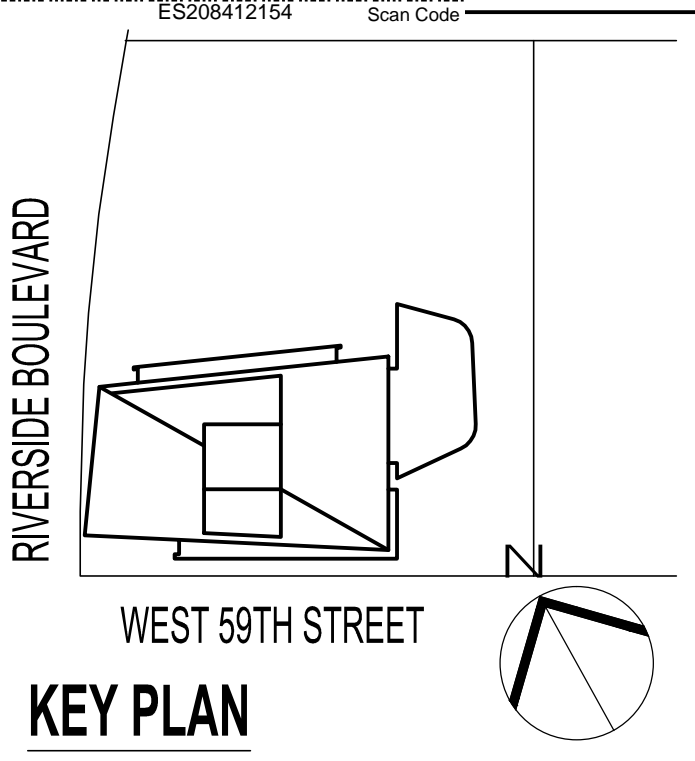
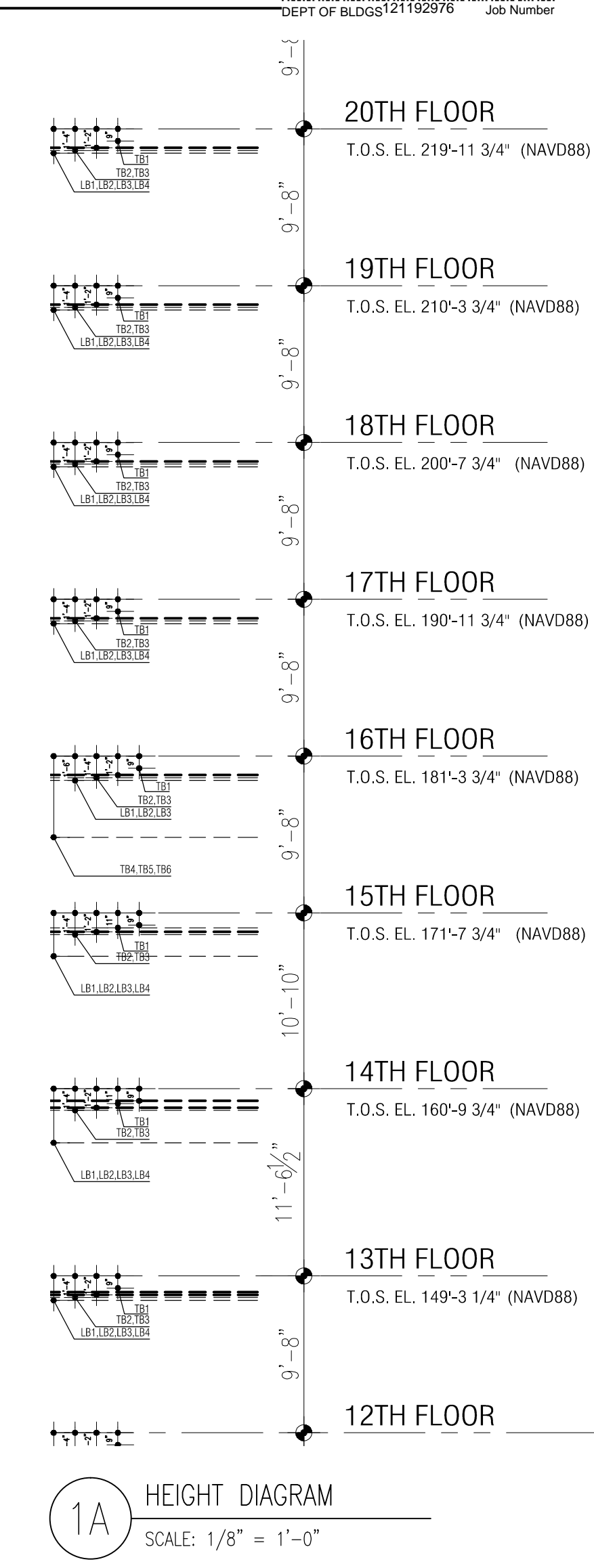
15TH FLOOR PLAN (CONSTRUCTION)
16TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE

REGISTERED ARCHITECT
AND STEPHEN T. L.
DOB STAMP
APPROVED
Under Director's of DOCS
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-115.01
DOB NO.

115TH FLOOR



KEY PLAN

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/27/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	09/21/2015	DOB SUBMISSION
2	07/27/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/FP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

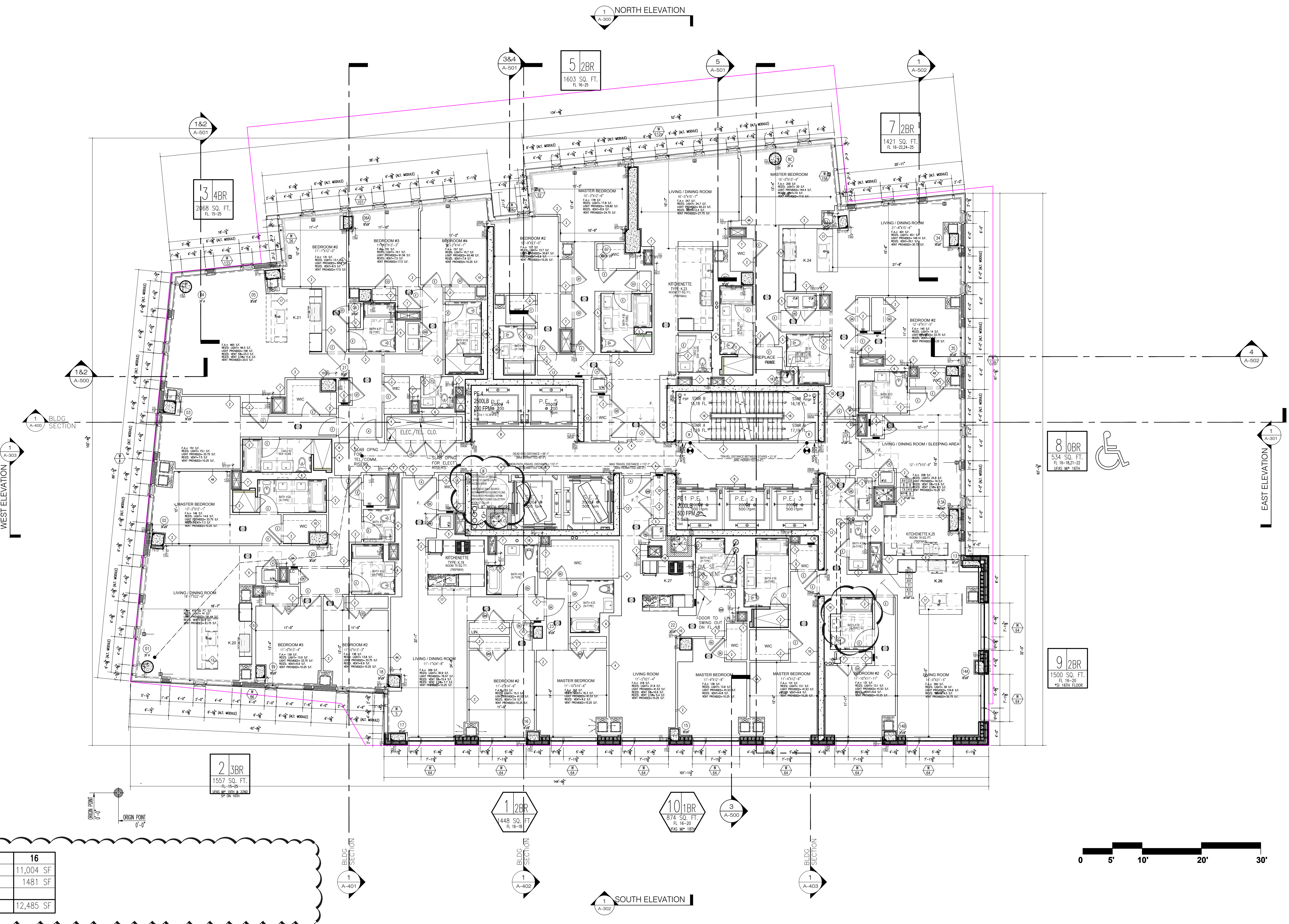
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:

DWG TITLE:
16TH FLOOR PLAN (CONSTRUCTION)
17TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:

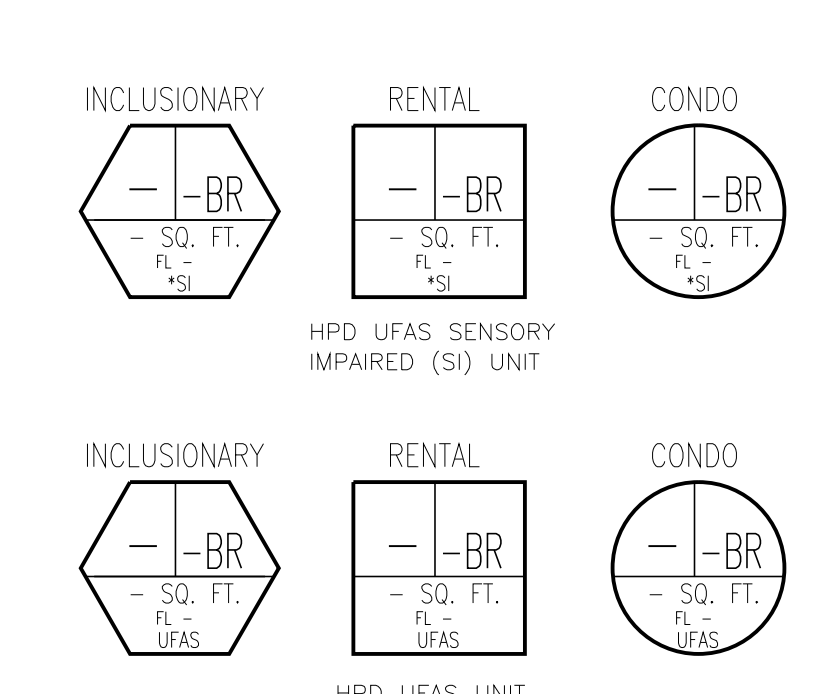
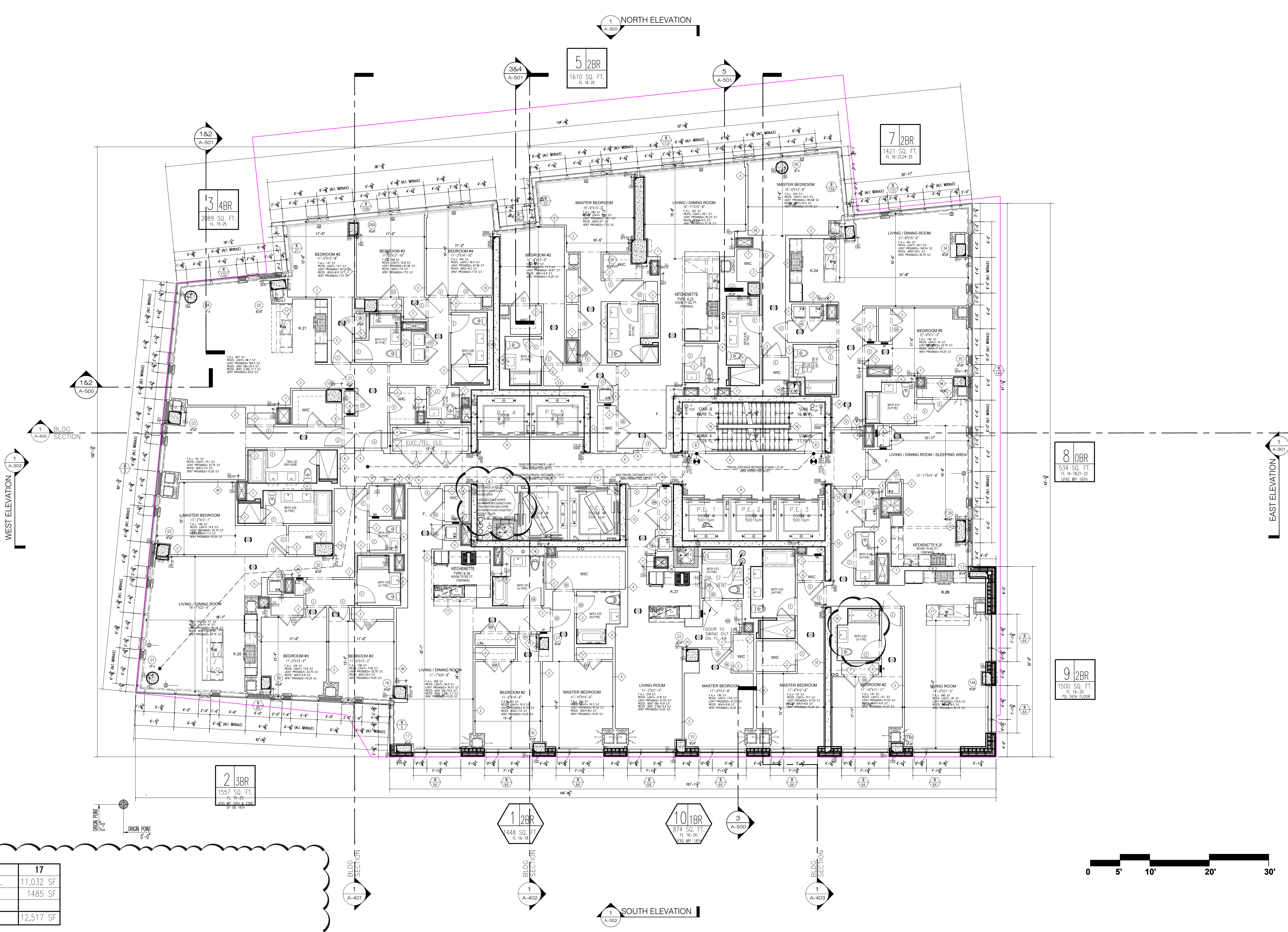
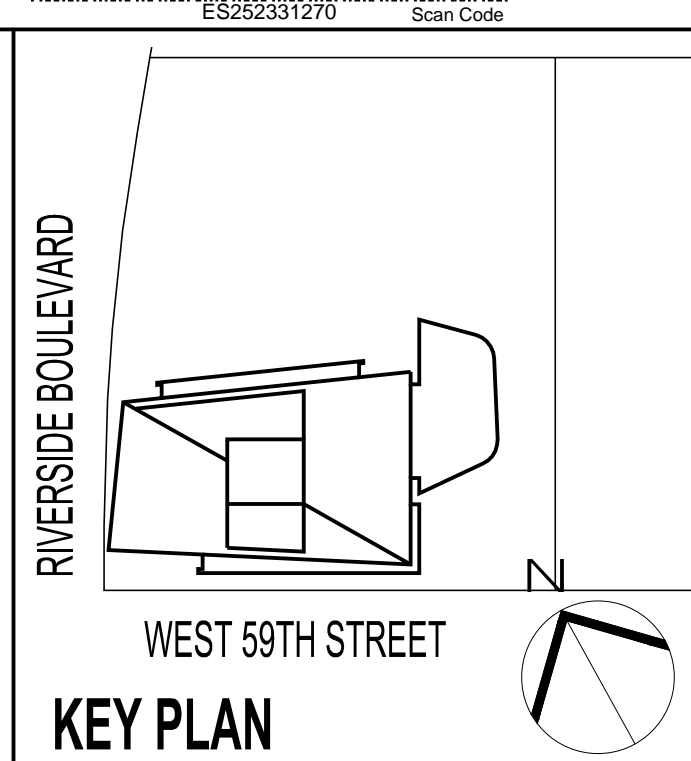
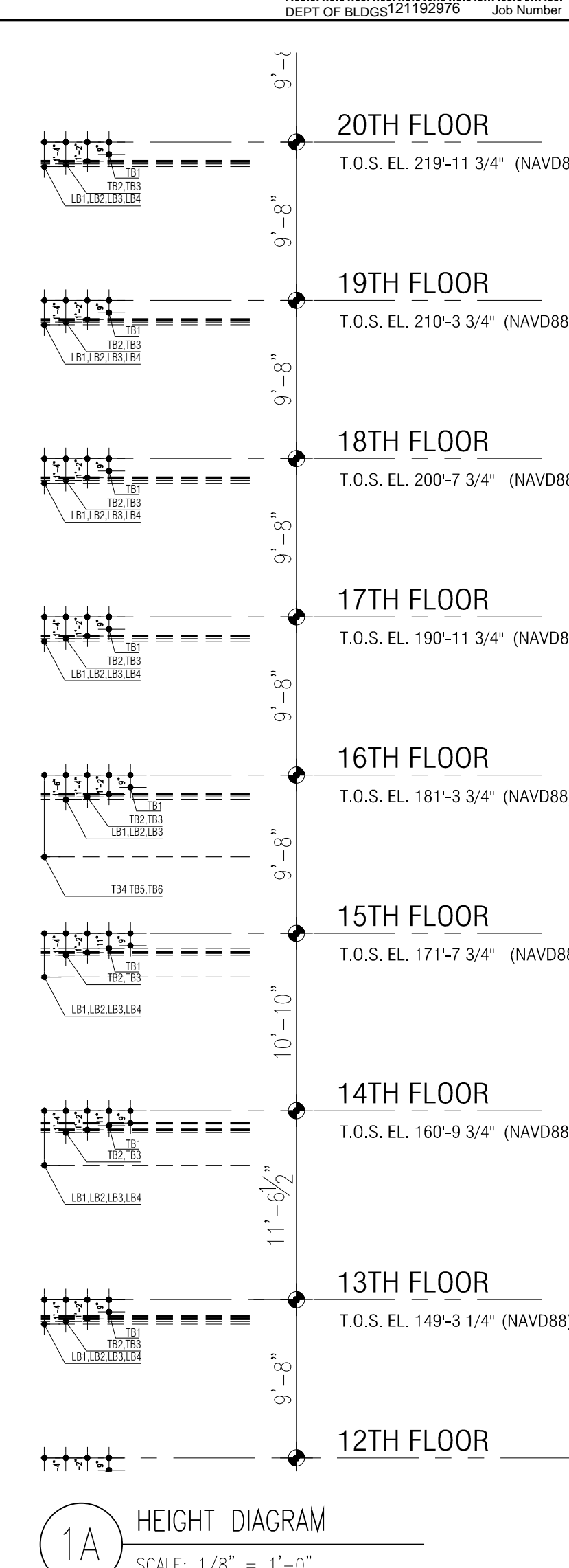
DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-116.01
DWG NO.:
A-116_16TH FLOOR



FLOOR	16
RESIDENTIAL	11,004 SF
CORE AREA	1481 SF
TOTAL GFA	12,485 SF

1 16TH FLOOR PLAN
SCALE: 1/8" = 1'-0"





17TH FLOOR			
OCCUPANCY TYPE B.2			
TYPE	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
1	1448	300	8
2	1027	200	8
3	2088	200	11
5	1610	200	9
7	1421	200	8
8	154	200	9
9	1580	200	8
10	824	200	9
TOTAL	11930 SQ. FT.		60

CONSTRUCTION CLASS 18
DOOR CAPACITY, PER I.C. 100.1
CAPACITY OF DOOR TO STAIR A IS 180 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY.

DOOR WIDTH, PER I.C. 100.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY, PER I.C. 100.1
CAPACITY OF STAIRLAND IS 48 PEOPLE PER 44" WIDE STAIR. TOTAL OF 288 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)

NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1 - 10 HR. RATED

FULL COMPLIANCE WITH NFPA 101
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS.
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.

PROPOSED EXIT PASSAGEWAY COMPLIES WITH I.C. 100.10 WITH REGARDS TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHINGS.

GENERAL CODE PROFESSIONAL STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY AIA PERSON, HE WILL PROVIDE AN ACCESSIBLE WASHROOM UNIT.

FLOOR	17
RESIDENTIAL	11,032 SF
CORE AREA	1485 SF
TOTAL GFA	12,517 SF

1 17TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

Number	Date	Revision
6	10/20/2017	008 SUBMISSION
7	10/14/2016	008 ALT.2
8	07/25/2016	008 SUBMISSION
5	06/07/2016	008 SUBMISSION
4	03/03/2016	008 SUBMISSION
3	08/21/2015	008 SUBMISSION
2	07/31/2015	008 SUBMISSION
1	03/05/2015	008 SUBMISSION

OWNER	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
PROJECT	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY
EXECUTIVE ARCHITECT	

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212.213.8007

DESIGN ARCHITECT
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-0060

STRUCTURAL ENGINEER
WSP BUILDING STRUCTURES
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MECHANICAL ENGINEER
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

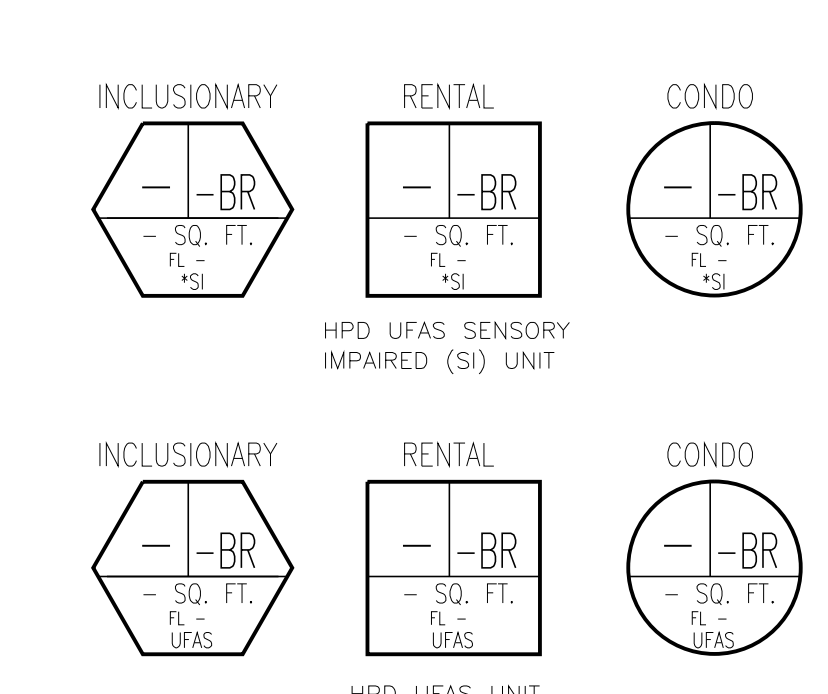
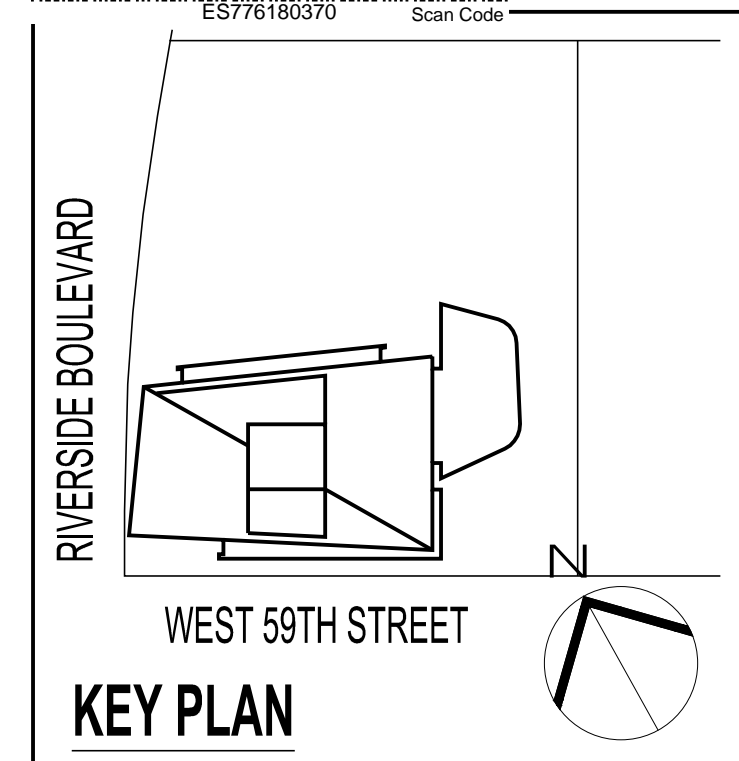
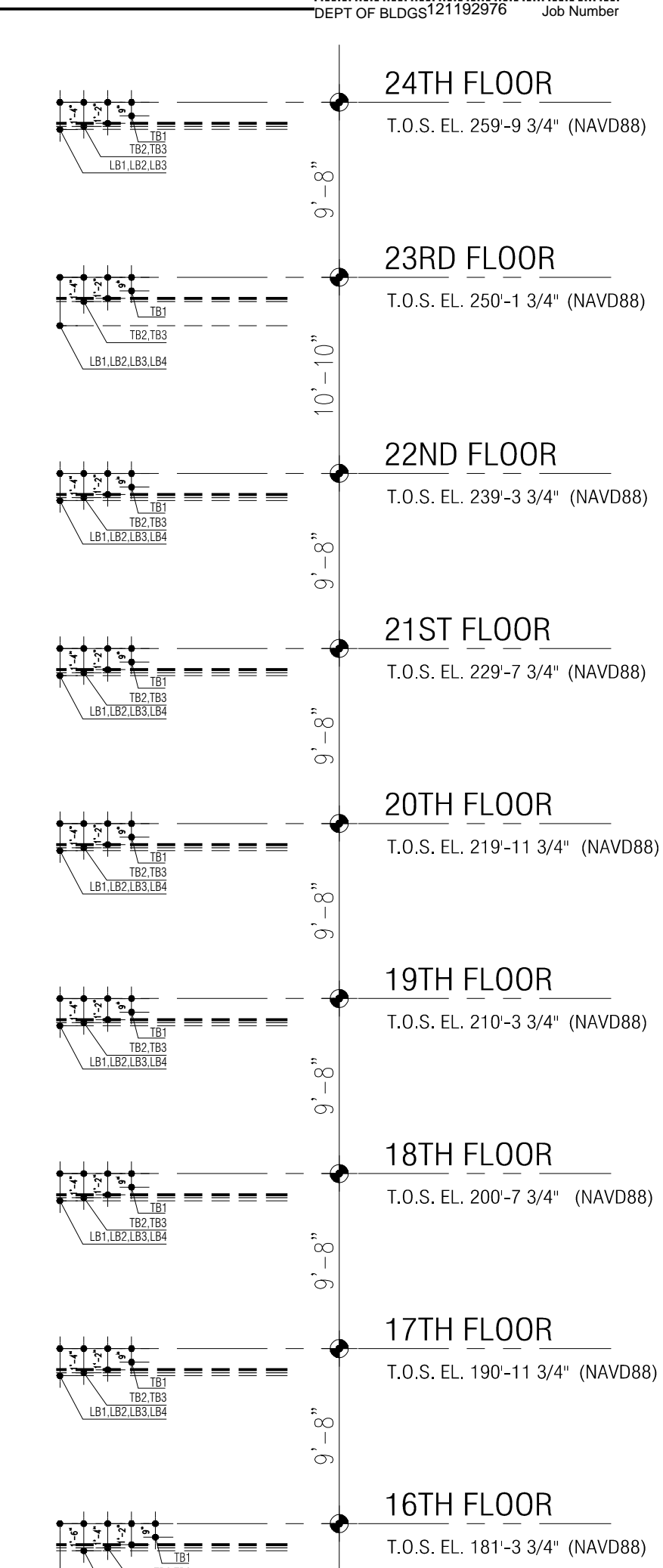
INTERIOR DESIGNER
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 687-8869

DOB STAMPS & SIGNATURES:

APPROVED
Under Director's seal of sign
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DWG TITLE
17TH FLOOR PLAN (CONSTRUCTION)
18TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: 	DATE: 3/6/15
REGISTERED ARCHITECT VICTOR DAZA NEW YORK	PROJECT #: 14416
	SCALE: AS NOTED
	A-117.01
	DWG NO.



18TH FLOOR			
PER B.C. 10M 1.1			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
APARTMENT			
1	1448	200	8
2	1557	200	8
3	2308	200	11
5	1918	200	9
7	1428	200	8
8	1324	200	8
9	1302	200	8
10	874	200	5
TOTAL	11966 SQ. FT.		60

CONSTRUCTION CLASS 1-B
DOOR CAPACITY, PER B.C. 10M 1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 18 PEOPLE PER 30" WIDE OPENING. TOTAL OF 30 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)
DOOR WIDTH, PER B.C. 10M 1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY, PER 10M 1.1
CAPACITY OF STAIR A AND B IS 146 PEOPLE PER 44" WIDE STAIR. TOTAL OF 30 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1-1/2 HR. RATED
P.F.S.C.
FULL COMPLIANCE WITH NYECC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS
ENTIRE FLOOR TO BE FULLY SPRINKLERED EXCEPT WHERE NOTED OTHERWISE
PROPOSED EXIT PASSAGEWAY COMPLIES WITH BC1002 WITH REGARDS TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND PARTITIONING
ENERGY CODE PROFESSIONAL STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE
IF REQUESTED BY ADA PERSON, WE WILL PROVIDE AN ACCESSIBLE ELEVATOR/STAIR UNIT

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/10/2017	DOB A-12
6	07/25/2017	DOB SUBMISSION
5	06/27/2017	DOB SUBMISSION
4	02/09/2017	DOB SUBMISSION
3	09/21/2016	DOB SUBMISSION
2	07/27/2016	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

Owner	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
Project	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY

Executive Architect	HILL WEST ARCHITECTS 11 BROADWAY 17TH FLOOR NEW YORK, NY 10004 T. 212 213 8007
---------------------	---

Design Architect	RICHARD MEIER & PARTNERS ARCHITECTS, LLP 475 Tenth Avenue New York, NY 10018 Tel: (212) 967-6060
------------------	--

Structural Engineer	WSP BUILDING STRUCTURES CONSULTING ENGINEERS 228 East 45th St, 3rd Floor New York, NY 10017 Tel: (212) 687-9888 Fax: (646) 487-5501
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Mechanical Engineer	WSP BUILDING SYSTEMS CONSULTING ENGINEERS 512 Seventh Avenue New York, NY 10018 Tel: (212) 532-9600
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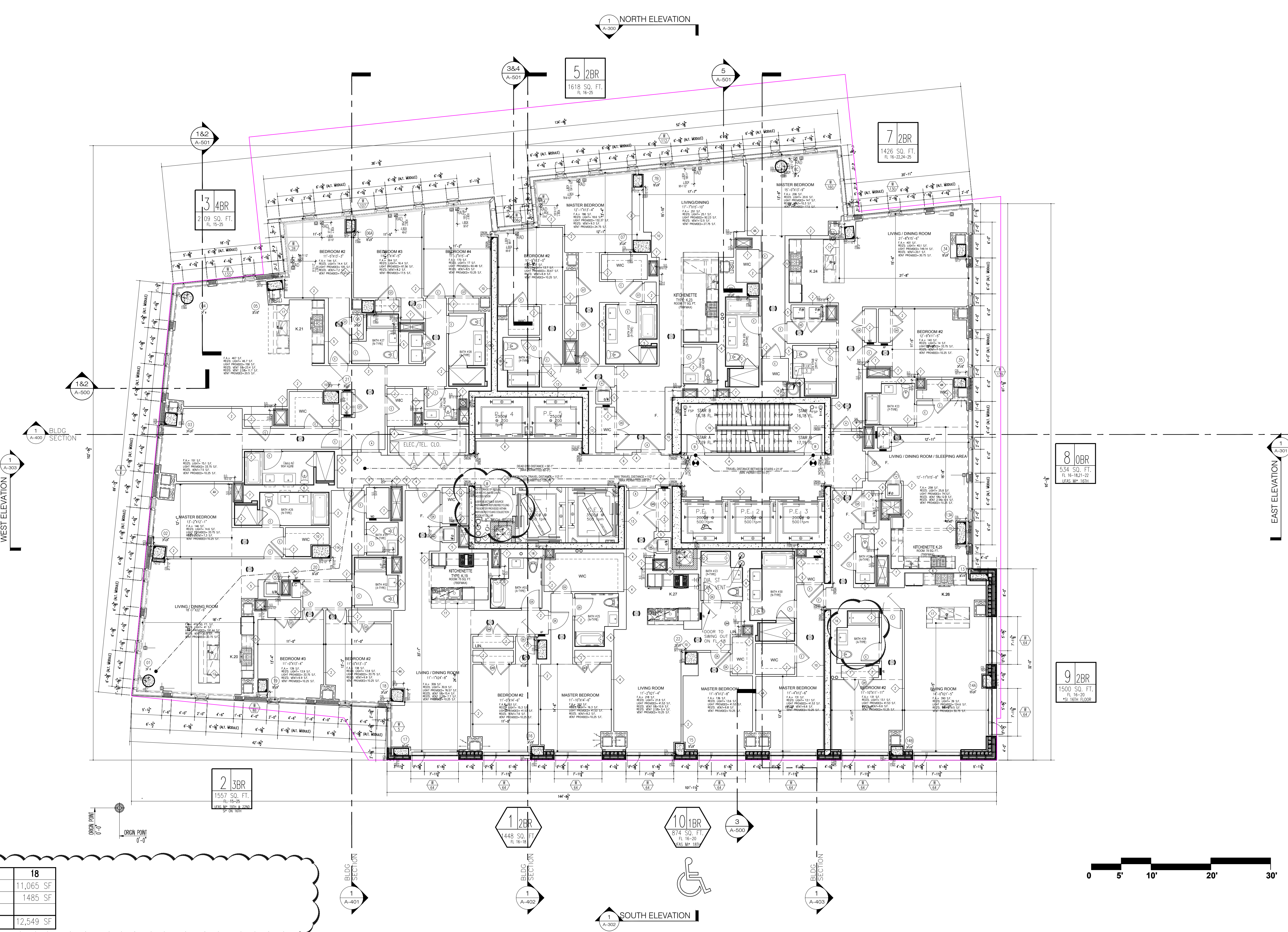
Interior Designer	CHAMPALIMAUD 475 Tenth Avenue, 10th Floor New York, NY 10018 Tel: (212) 807-8869
-------------------	---

DOB STAMPS & SIGNATURES

Victor Daza
APPROVED
Under Director's Seal of DOB
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

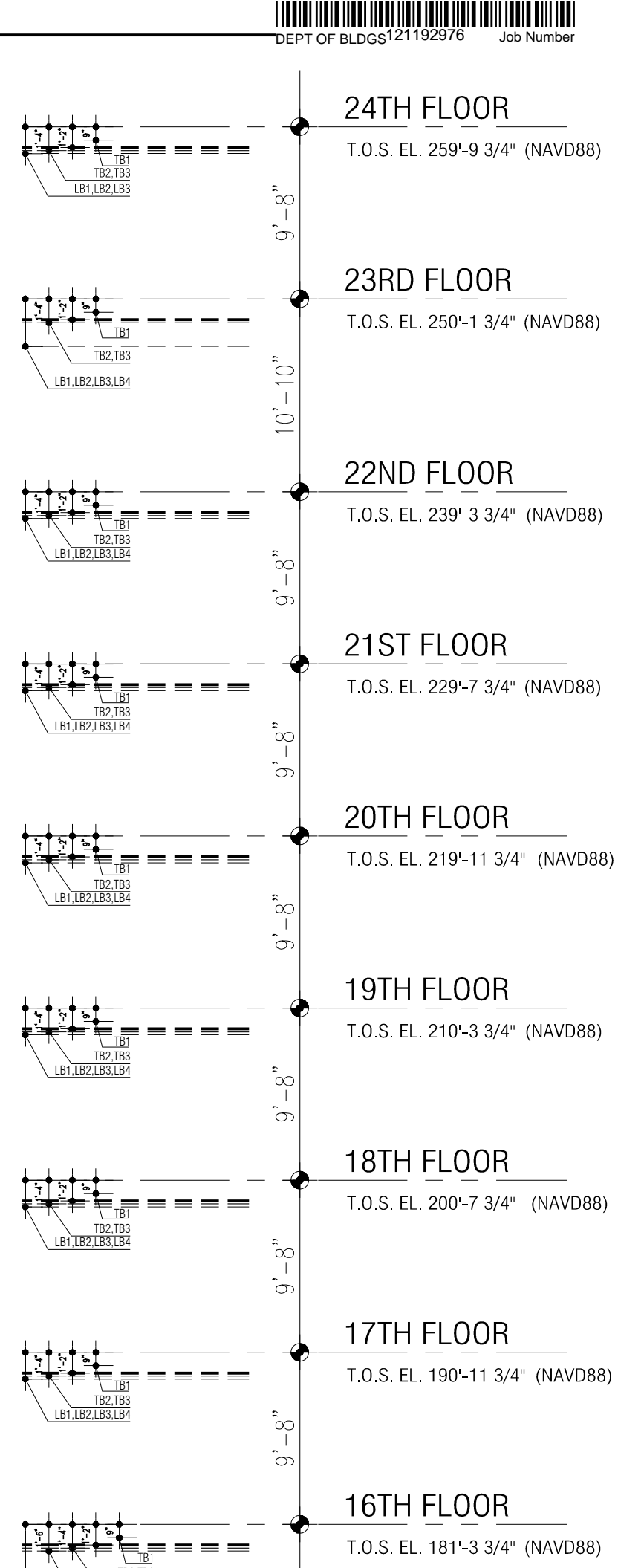
Draw Title	18TH FLOOR PLAN (CONSTRUCTION) 19TH FLOOR PLAN (MARKETING)
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SEAL & SIGNATURE 	DATE 3/6/15
PROJECT # 14A16	SCALE AS NOTED
A-118.01	
DWG NO.	
A-118_18TH FLOOR	

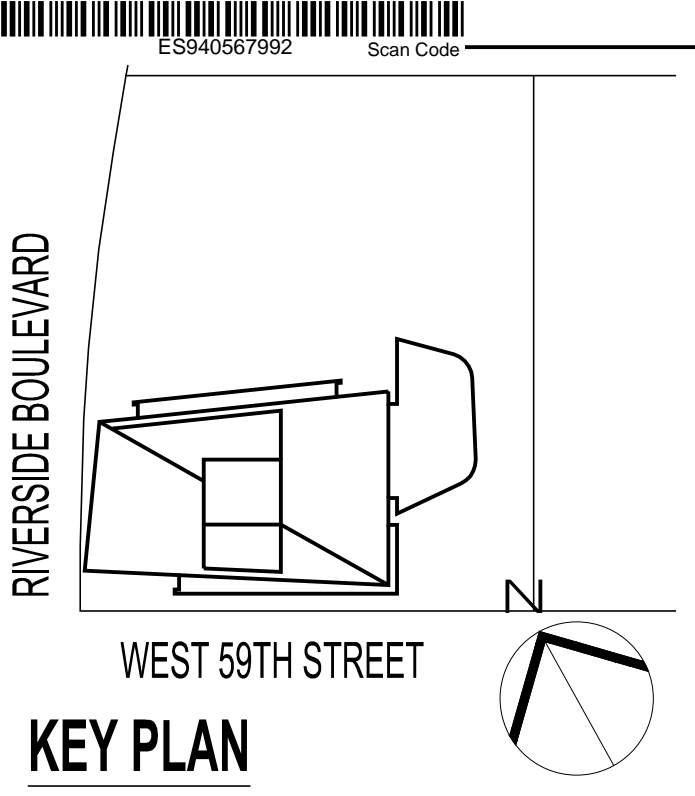


FLOOR	18
RESIDENTIAL	11,065 SF
CORE AREA	1485 SF
TOTAL GFA	12,549 SF

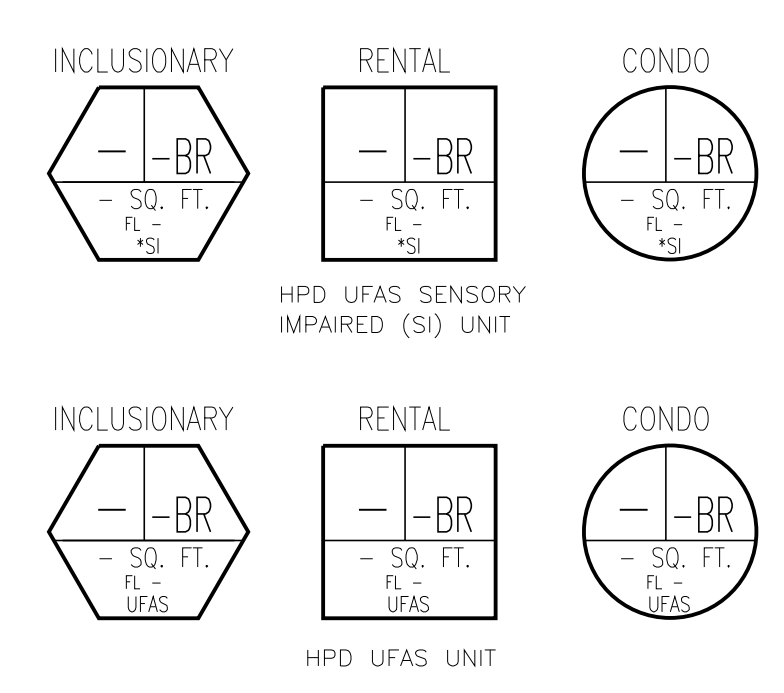
1 18TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



KEY PLAN



19TH FLOOR			
PER B.C. 10M 1.1			
TYPE	NET AREA	NET DOOR/STAIRWAY OCCUPANCY	OCCUPANT COUNT
APARTMENT			
1	1448	200	8
2	1557	200	8
3	2207	200	11
5	1925	200	9
7	1427	200	8
8	1334	200	5
9	1332	200	8
10	674	200	5
TOTAL	11992 SQ. FT.		60

CONSTRUCTION CLASS 1-B
DOOR CAPACITY, PER B.C. 10M 1.1
CAPACITY OF DOOR TO STAIR & STAIR B IS 18 PEOPLE PER 30" WIDE OPENING. TOTAL OF 30 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)
DOOR WIDTH, PER B.C. 10M 1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY, PER 10M 1.1
CAPACITY OF STAIR AND B IS 14 PEOPLE PER 44" WIDE STAIR. TOTAL OF 30 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1-1/2 HR. RATED
P.F.S.C.
FULL COMPLIANCE WITH NYSCC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS
ENTIRE FLOOR TO BE FULLY SPRINKLERED EXCEPT WHERE NOTED OTHERWISE
PROPOSED EXIT PASSAGEWAY COMPLIES WITH BC1002 WITH REGARDS TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND PARTITIONING
ENERGY CODE PROFESSIONAL STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE
IF REQUESTED BY AIA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOM UNIT

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/03/2016	DOB SUBMISSION
5	06/03/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	09/01/2015	DOB SUBMISSION
2	07/01/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

SECURITY ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MECHANICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

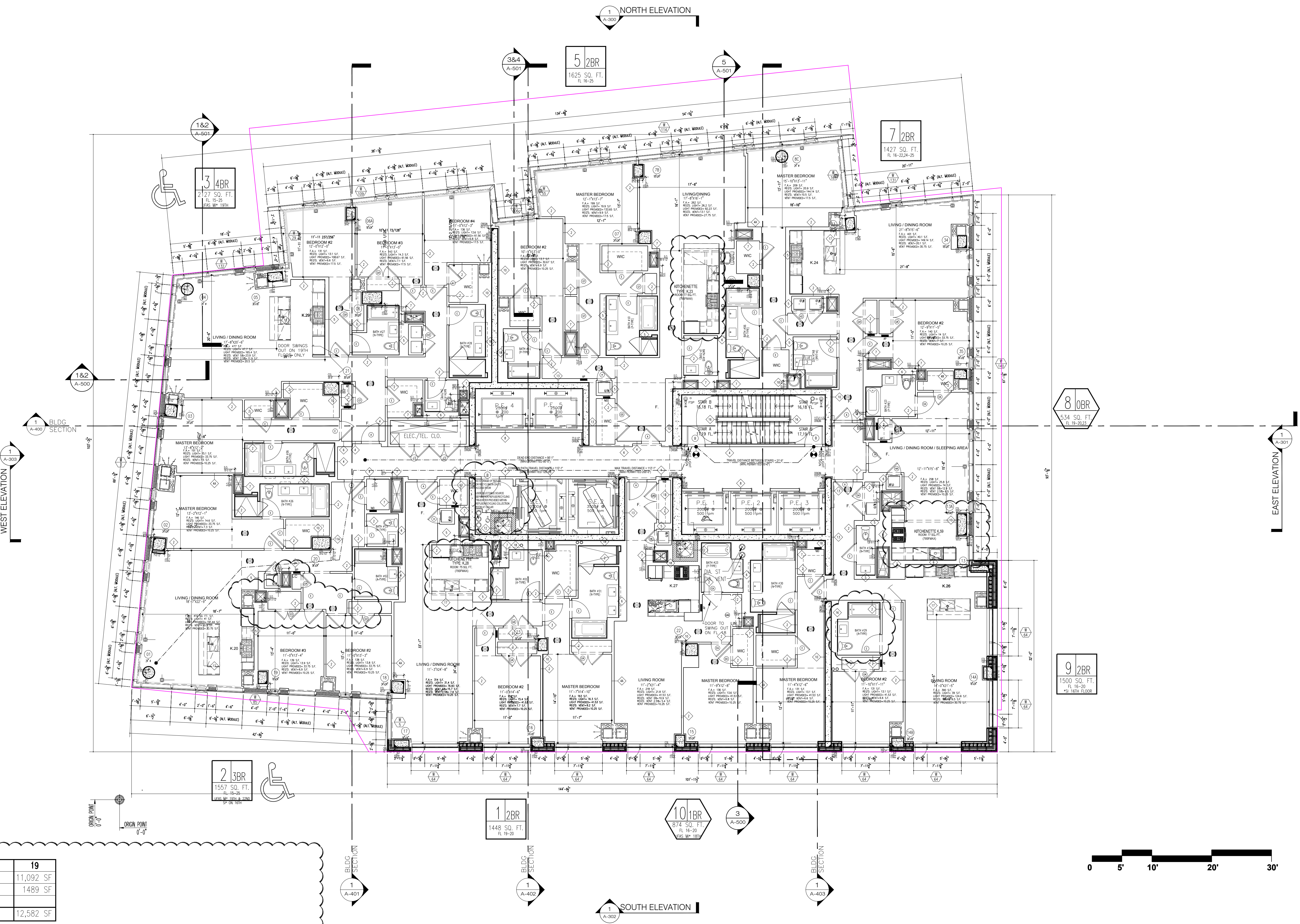
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8669

DOB STAMPS & SIGNATURES:



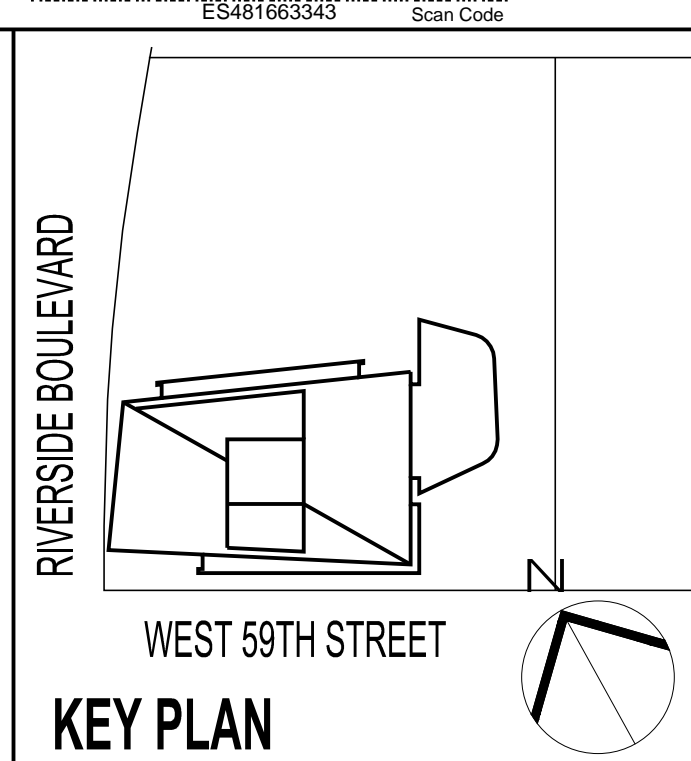
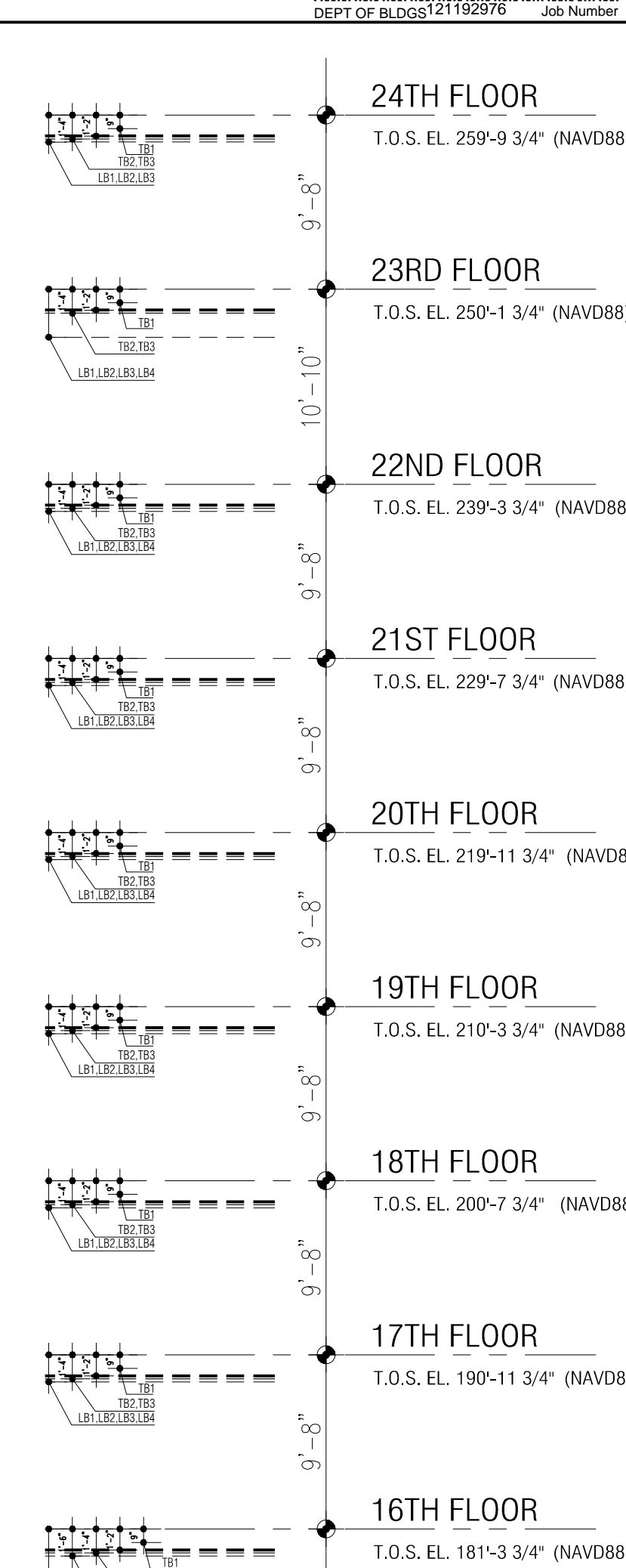
DWG TITLE:
19TH FLOOR PLAN (CONSTRUCTION)
20TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: [Seal of Victor Daza, Registered Architect, No. 14416]
DATE: 3/6/15
PROJECT #: 14416
SCALE: AS NOTED
A-119.01
DWG NO.: A-119_19TH FLOOR



FLOOR	19
RESIDENTIAL	11,092 SF
CORE AREA	1489 SF
TOTAL GFA	12,582 SF

1 19TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



RIVERSIDE BOULEVARD
WEST 50TH STREET
KEY PLAN

6. 10/20/2017 008 SUBMISSION
7. 10/14/2016 008 ALT.2
5. 06/27/2016 008 SUBMISSION
4. 06/03/2016 008 SUBMISSION
3. 06/21/2015 008 SUBMISSION
2. 07/31/2015 008 SUBMISSION
1. 05/06/2015 008 SUBMISSION

Number: Date: Revision:

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-0060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MECHANICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 607-8869

DOB STAMPS & SIGNATURES:

Victor Daza
APPROVED
Under Director's of sign
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

OWS TITLE:
20TH FLOOR PLAN (CONSTRUCTION)
21ST FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: DATE: 3/6/15

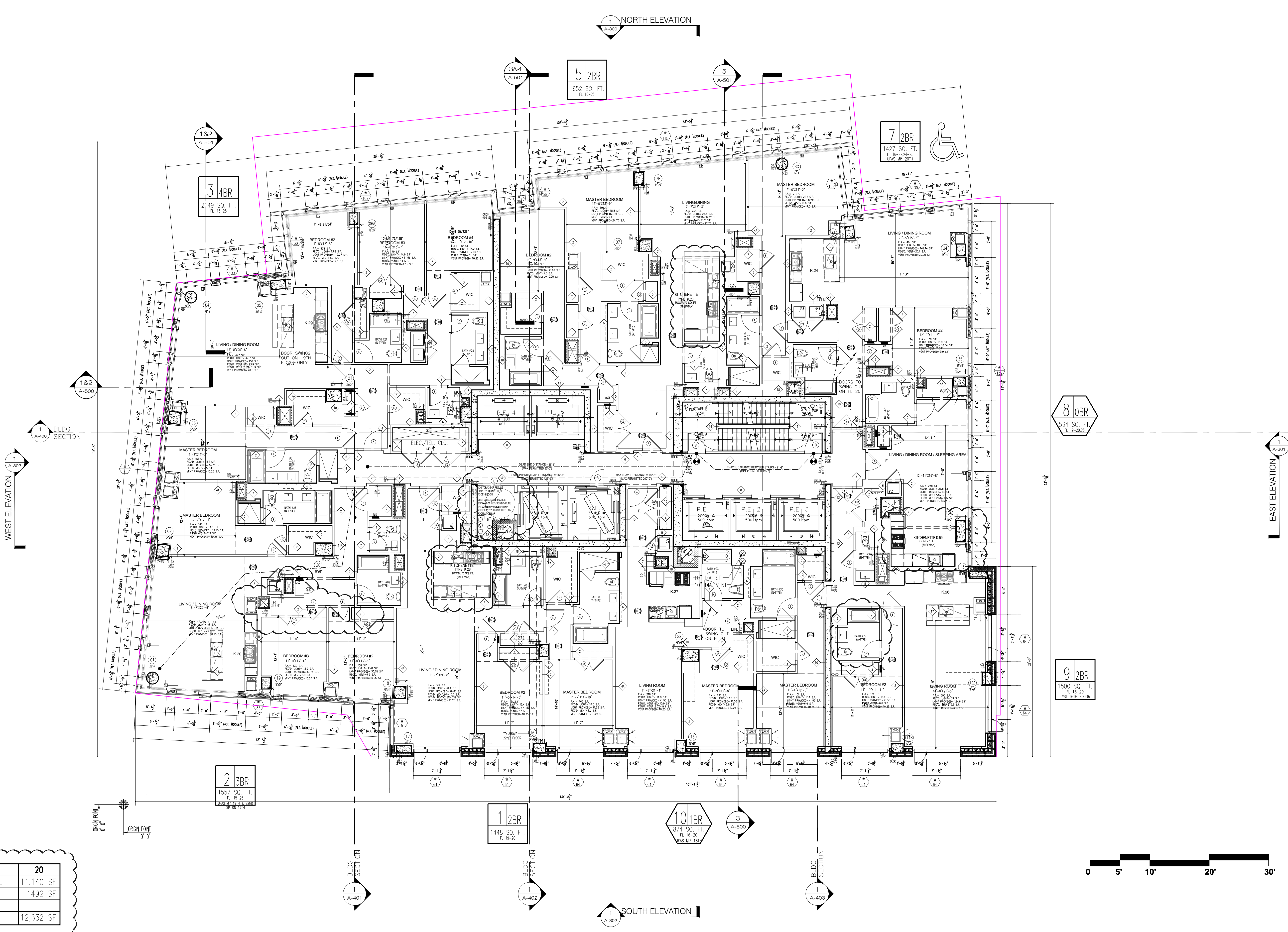
PROJECT #: 14416

SCALE: AS NOTED

A-120.01

DOB NO.

20TH FLOOR



INCLUSIONARY	RENTAL	CONDO
1 BR	1 BR	1 BR
2 BR	2 BR	2 BR
3 BR	3 BR	3 BR
4 BR	4 BR	4 BR
5 BR	5 BR	5 BR
6 BR	6 BR	6 BR
7 BR	7 BR	7 BR
8 BR	8 BR	8 BR
9 BR	9 BR	9 BR
10 BR	10 BR	10 BR

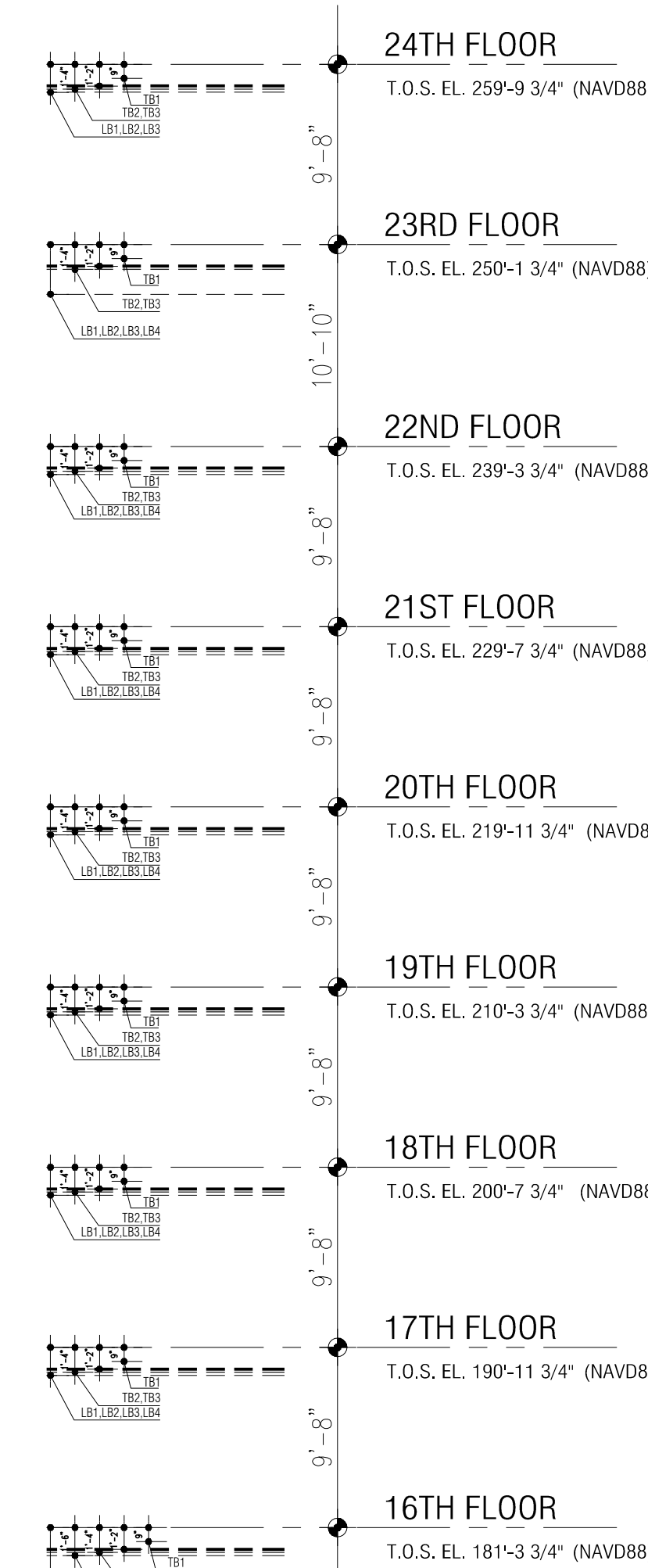
TYPE	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
1	1448	200	8
2	1027	200	8
3	1448	200	11
5	1622	200	9
7	1427	200	8
8	154	200	9
9	1580	200	8
10	874	200	5
TOTAL	11141 SQ. FT.		60

CONSTRUCTION CLASS 1B
DOOR CAPACITY, PER I.C. 100.1
CAPACITY OF DOOR TO STAIR A STAIR B IS 180 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)
DOOR WIDTH, PER I.C. 108.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY, PER I.C. 100.1
CAPACITY OF STAIRLAND IS 48 PEOPLE PER 40" WIDE STAIR. TOTAL OF 288 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1-1/2 HR. RATED
FIRE
FULL COMPLIANCE WITH NFPA 101
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS.
ENTRANCE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.
PROPOSED EXIT PASSAGEWAY COMPLIES WITH I.C.100.2 WITH REGARDS TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHINGS.
ENERGY CODE PROFESSIONAL STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY ABA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOM UNIT.

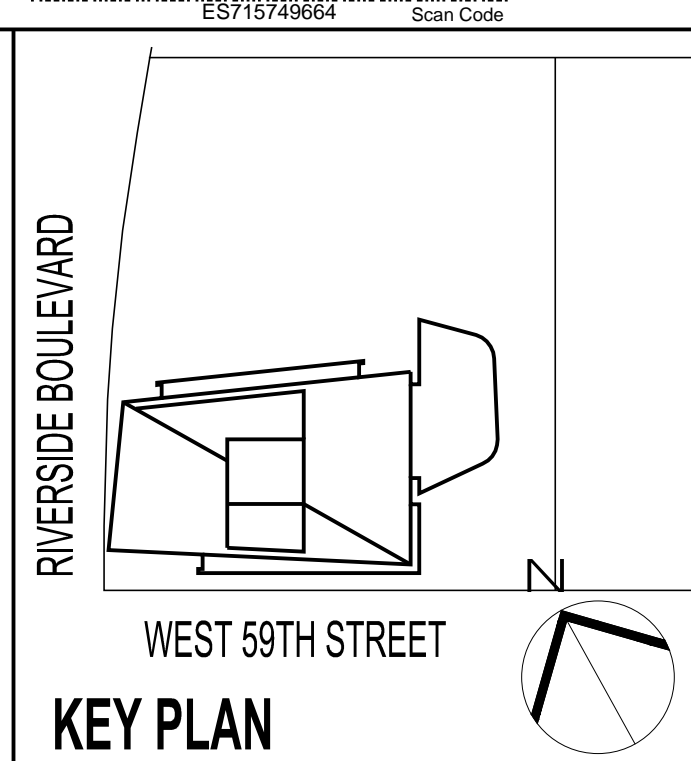
FLOOR	20
RESIDENTIAL	11,140 SF
CORE AREA	1492 SF
TOTAL GFA	12,632 SF

1 20TH FLOOR PLAN
SCALE: 1/8" = 1'-0"





1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



KEY PLAN

Number	Date	Revision
6	10/20/2017	008 SUBMISSION
7	10/14/2016	008 ALT.2
8	07/25/2016	008 SUBMISSION
5	06/07/2016	008 SUBMISSION
4	06/03/2016	008 SUBMISSION
3	06/21/2015	008 SUBMISSION
2	07/31/2015	008 SUBMISSION
1	03/09/2015	008 SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

DESIGN ARCHITECT:
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-0060

STRUCTURAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

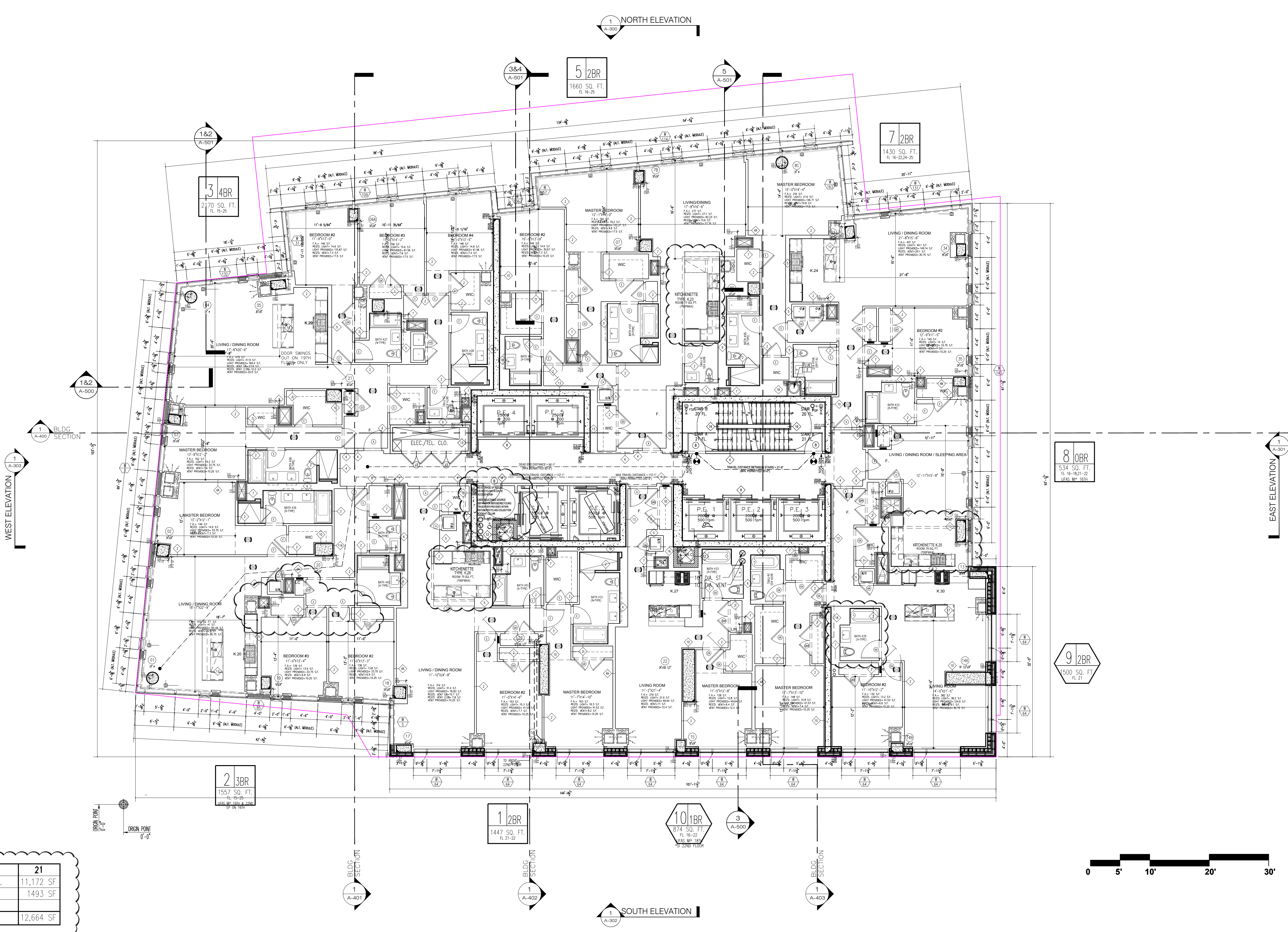
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 607-8869

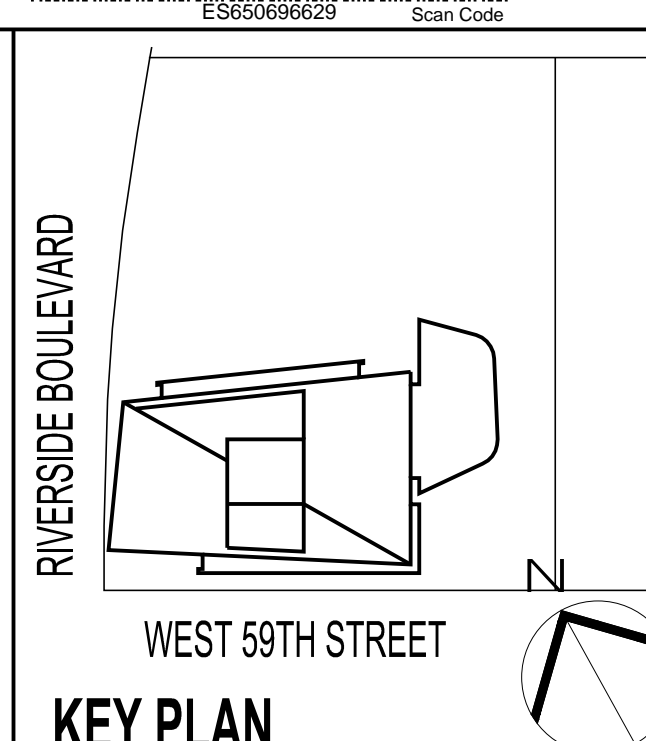
DOB STAMPS & SIGNATURES:

OWS TITLE:
21ST FLOOR PLAN (CONSTRUCTION)
22ND FLOOR PLAN (MARKETING)

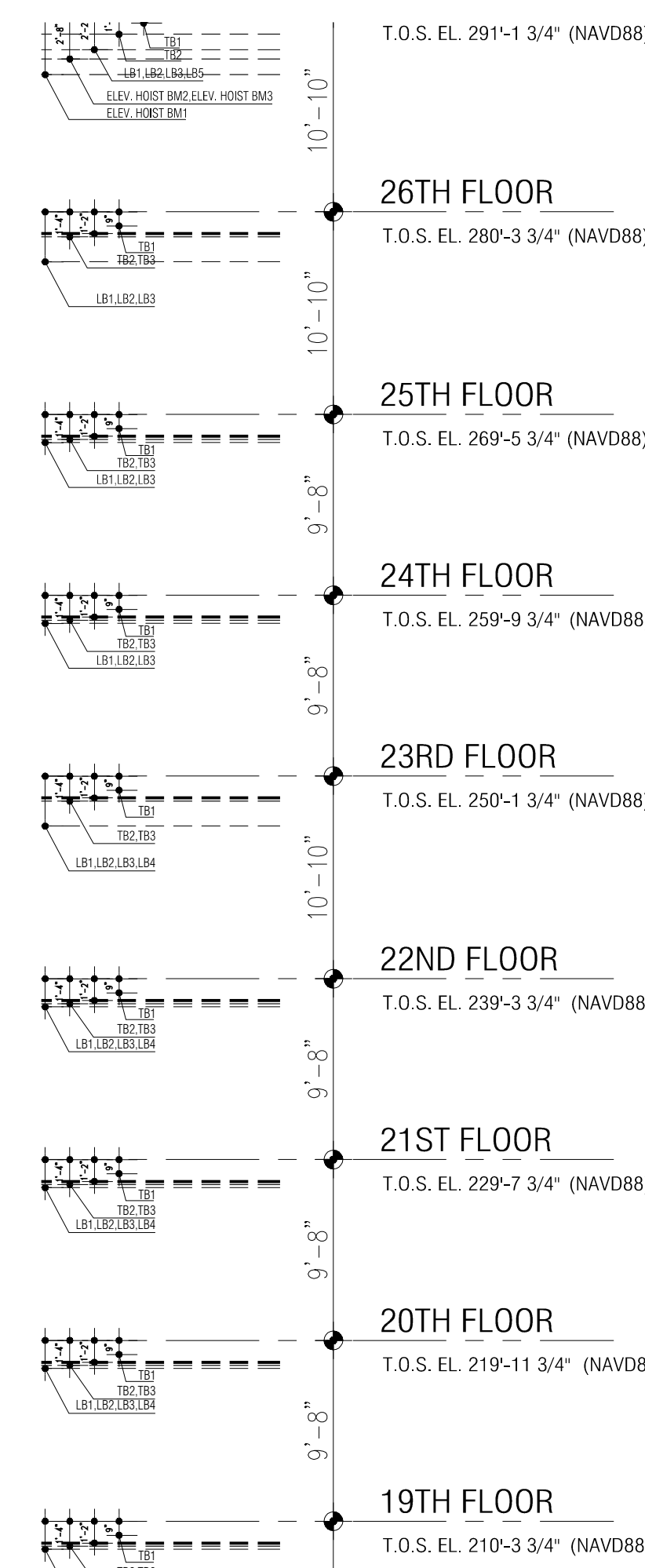
SEAL & SIGNATURE:

DATE: 3/6/15
PROJECT #: 14416
SCALE: AS NOTED
DWG NO. A-121.01
21ST FLOOR



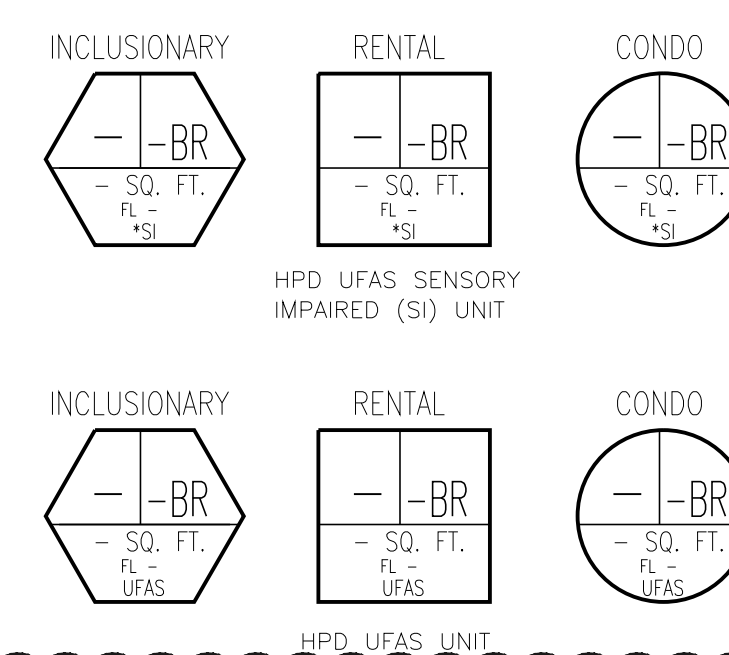


KEY PLAN



1A HEIGHT DIAGRAM

SCALE: 1/8" = 1'-0"



2ND FLOOR			
OCCUPANCY TYPE/A2	PER B.C. 104-1.1		
TYPE	NET AREA	NET FLOOR AREA/EV OCCUPANT	OCCUPANT COUNT
APARTMENT			
1	1447	200	8
2	1557	200	8
3	2193	200	11
5	1684	200	9
7	1437	200	8
8	534	200	2
9	1500	200	8
10	874	200	5
TOTAL	13115 SQ. FT.		60

[illegible]

8.	10/30/2017	DOB SUBMISSION
7.	10/14/2016	DOB ALT 2
6.	07/25/2016	DOB SUBMISSION
5.	05/27/2015	DOB SUBMISSION
4.	02/03/2016	DOB SUBMISSION
3.	09/21/2015	DOB SUBMISSION
2.	07/31/2015	DOB SUBMISSION
1.	03/06/2015	DOB SUBMISSION
Number:		Date:
Revision:		
OWNER: GID DEVELOPMENT		
125 HIGH STREET		
HIGH STREET TOWER, 27TH		
BOSTON, MA 02110		
PROJECT: RIVERSIDE CENTER BUILDING		
NEW YORK, NY		

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER
**WSP BUILDING STRUCTURES
CONSULTING ENGINEERS**
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

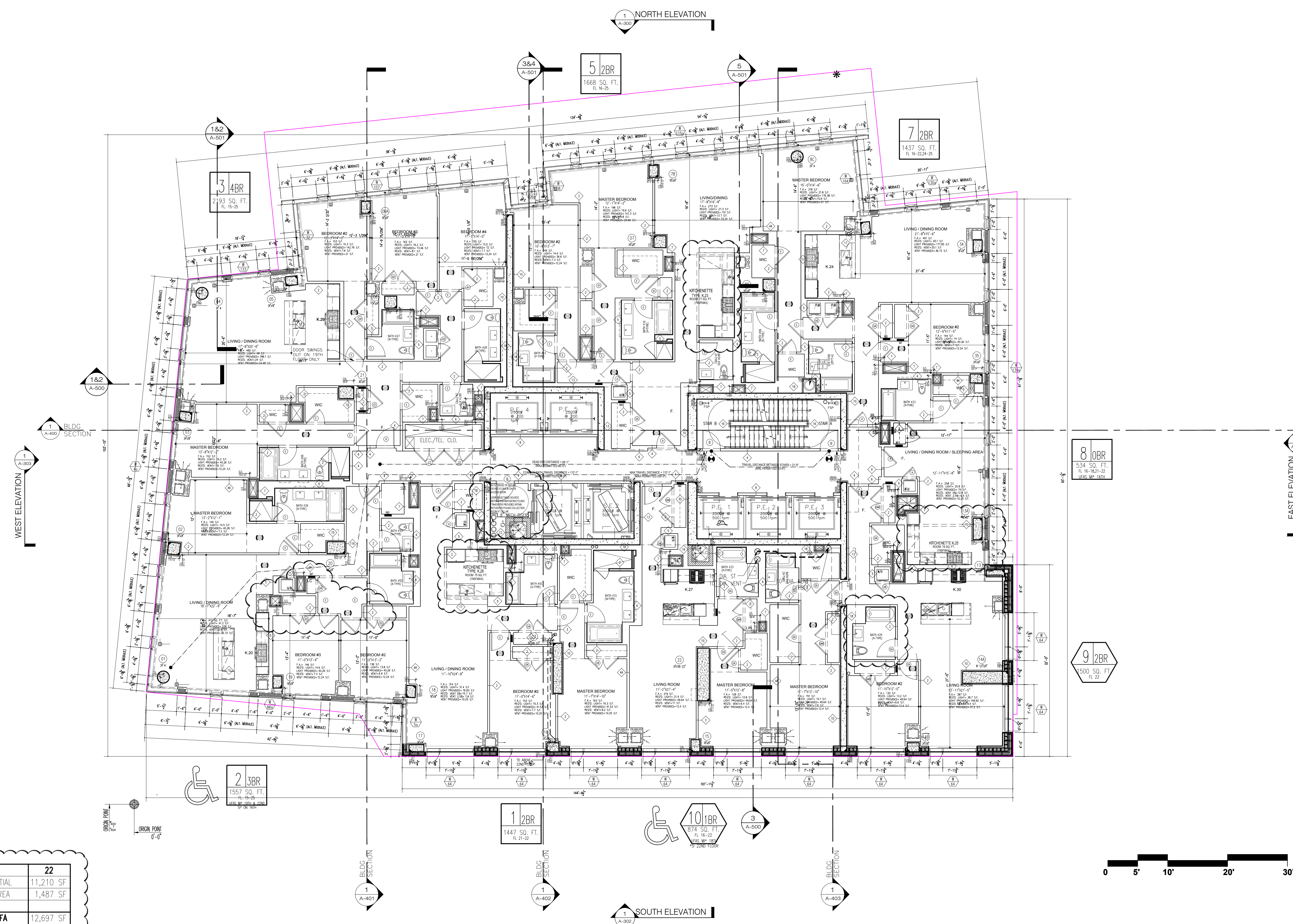
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER: **CHAMPALIMAUD**
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

COB STAMPS & SIGNATURES:



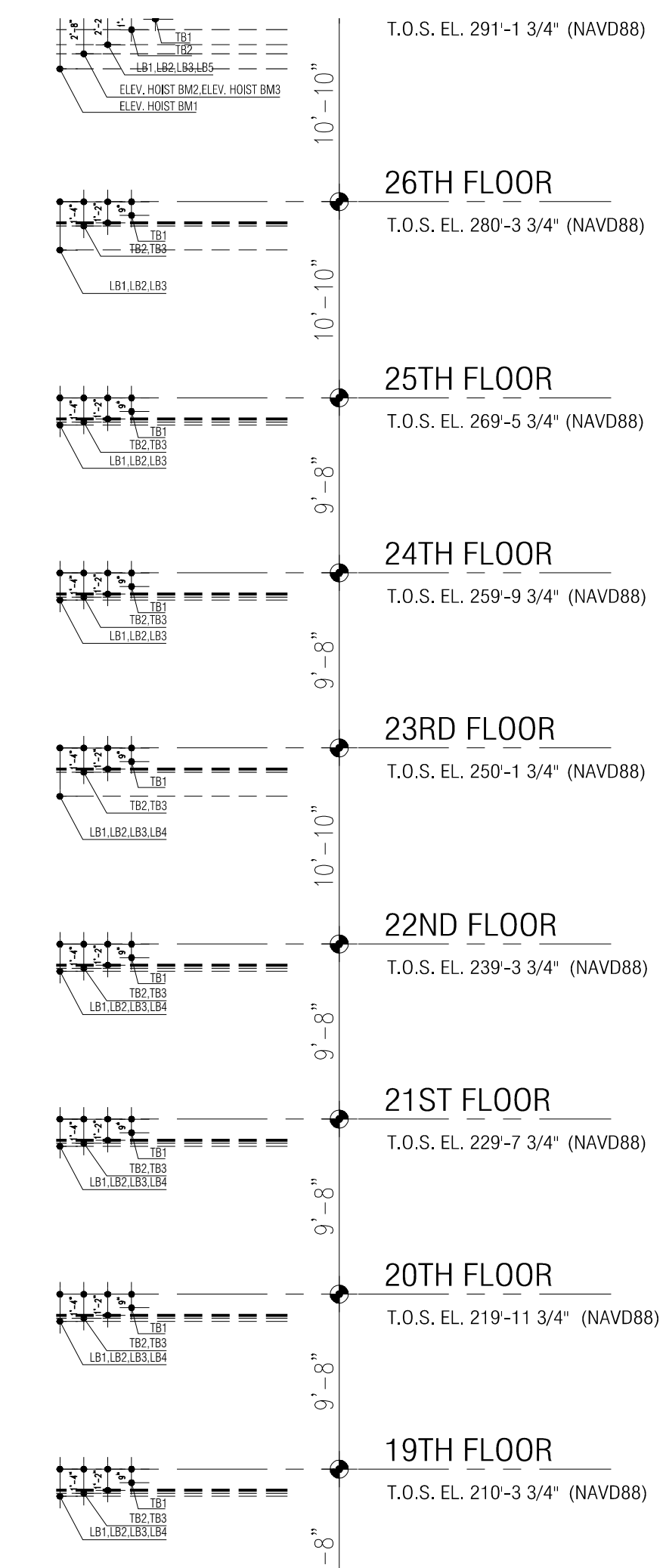
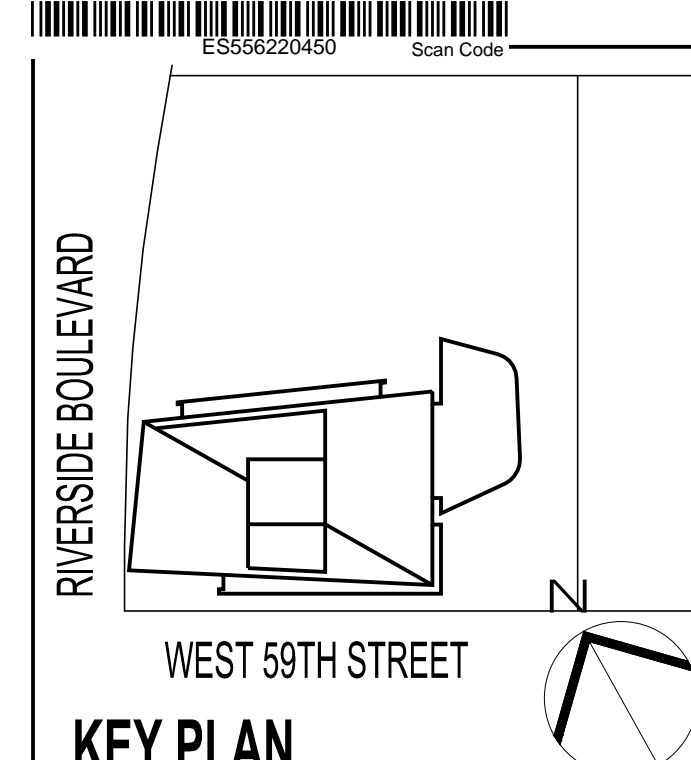
DWG TITLE:
22ND FLOOR PLAN (CONSTRUCTION)
23RD FLOOR PLAN (MARKETING)



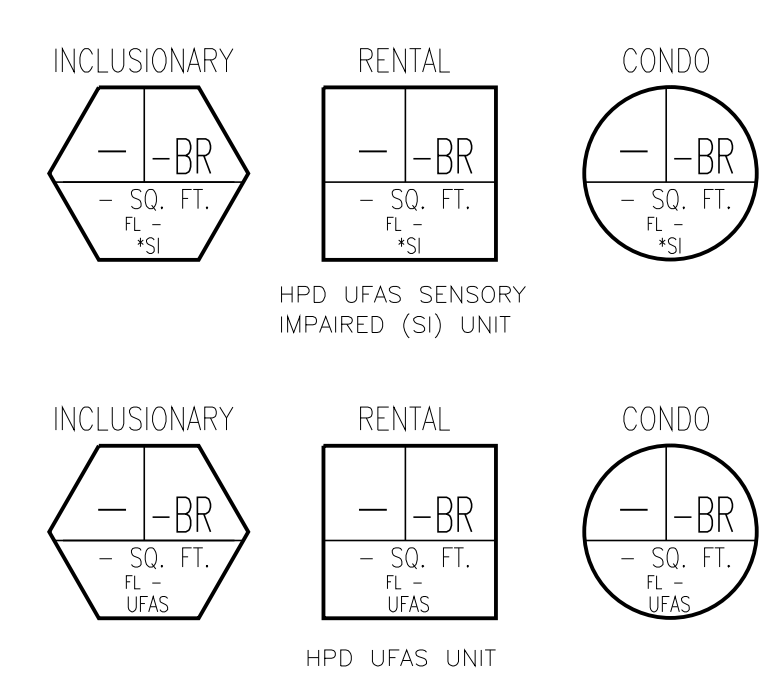
FLOOR	22
RESIDENTIAL	11,210 SF
CORE AREA	1,487 SF
TOTAL GFA	12,697 SF

1 22ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



23RD FLOOR			
PER B.C. 1004.1.1			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
APARTMENT			
1	1440	200	8
2	1550	200	8
3	2210	200	12
4	1070	200	8
5	1441	200	8
6	134	200	5
7	1308	200	7
TOTAL	10004 SQ. FT.		55

CONSTRUCTION CLASS 1B

DOOR CAPACITY: PER B.C. 1006.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 180 PEOPLE PER 30' WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLES W MAX DOOR CAPACITY)

DOOR WIDTH: PER B.C. 1006.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY: PER 1006.1
CAPACITY OF STAIR A AND B IS 140 PEOPLE PER 44' WIDE STAIR. TOTAL OF 280 PEOPLE. (TOTAL OCCUPANT LOAD COMPLES W MAX STAIR CAPACITY)

NOTE:
ALL CORRIDOR PARTITIONS TO BE 3/4" BATED.
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1-1/2" BATED.
F.P.S.C.

FULL COMPLIANCE WITH NYC CODE
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS.
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.

PROPOSED EXISTING PARAGRAH COMPLIES WITH NYC CODE WITH REGARD TO BIRTH, HEIGHT, CONSTRUCTION, OPENINGS, AND PENETRATIONS.

ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY AIA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOM UNIT.

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB AL 2
6	07/05/2016	DOB SUBMISSION
5	06/27/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	08/21/2015	DOB SUBMISSION
2	07/27/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T: 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

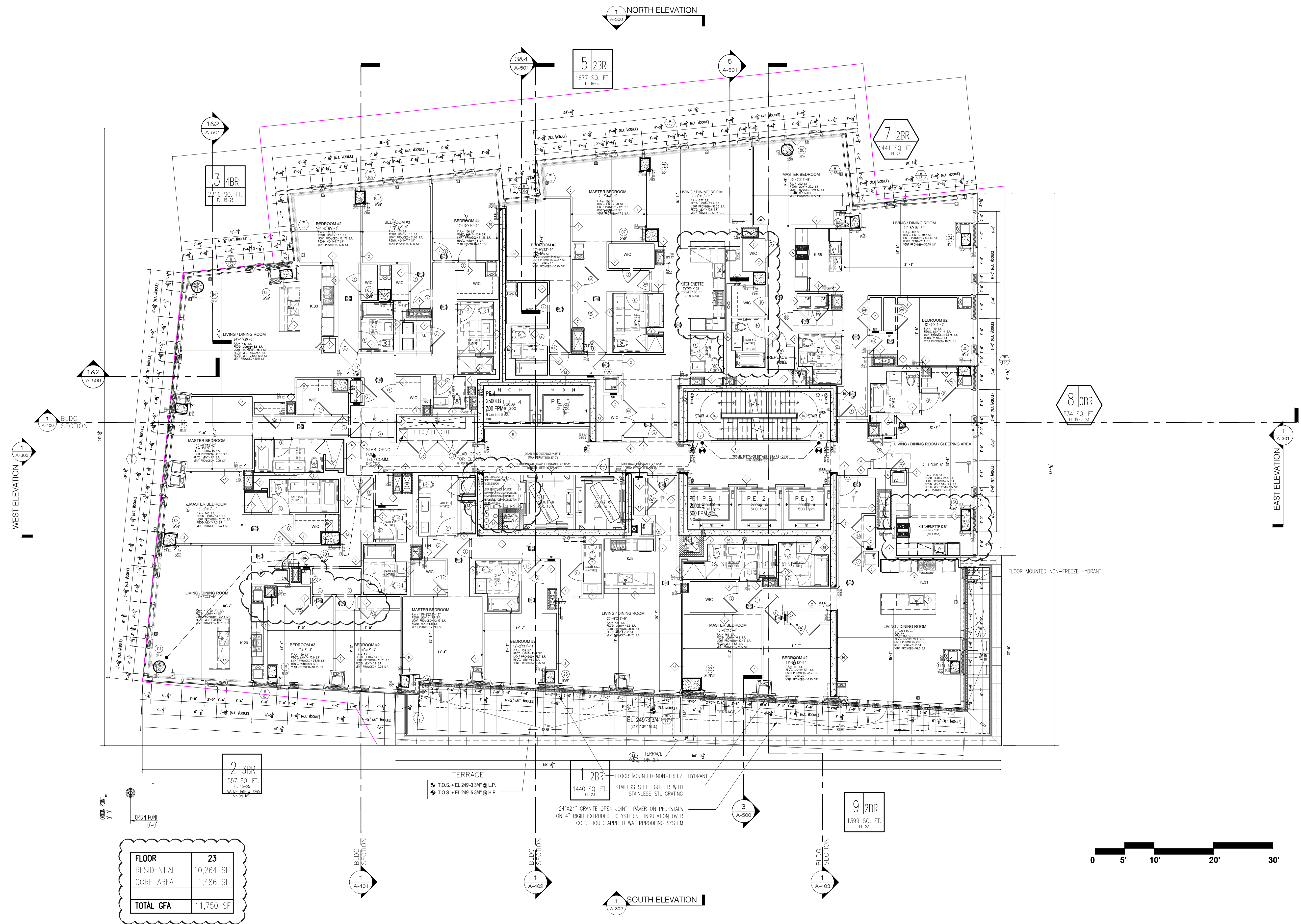
MEP/ELECTRICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:

DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-123.01
DATE NO.

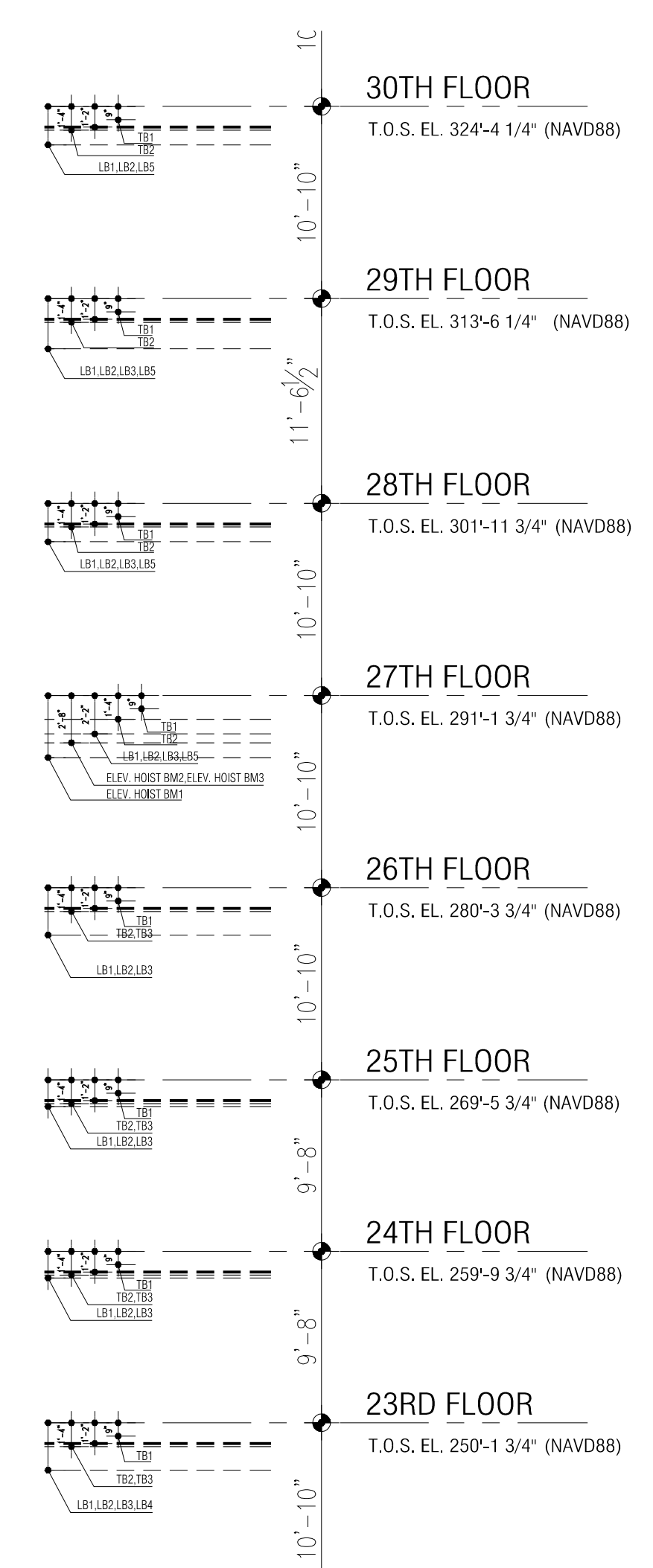
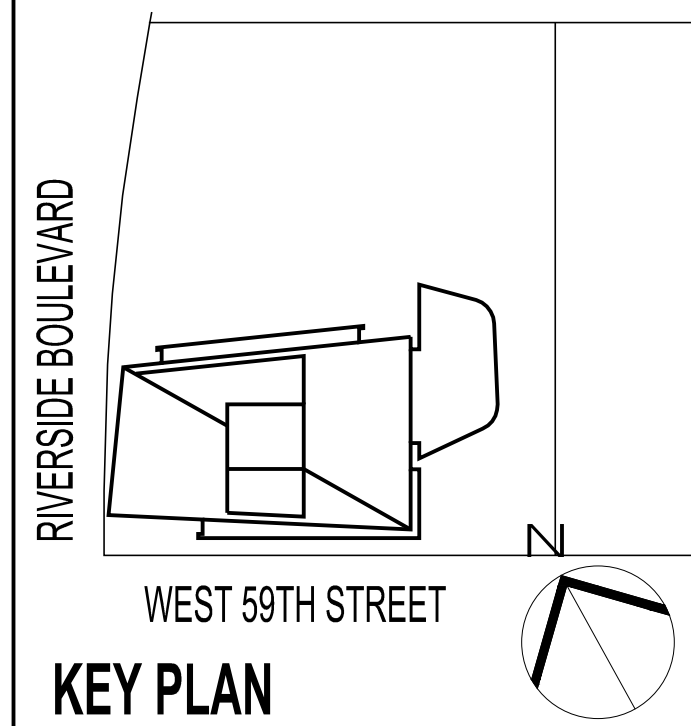
1-123_23RD FLOOR



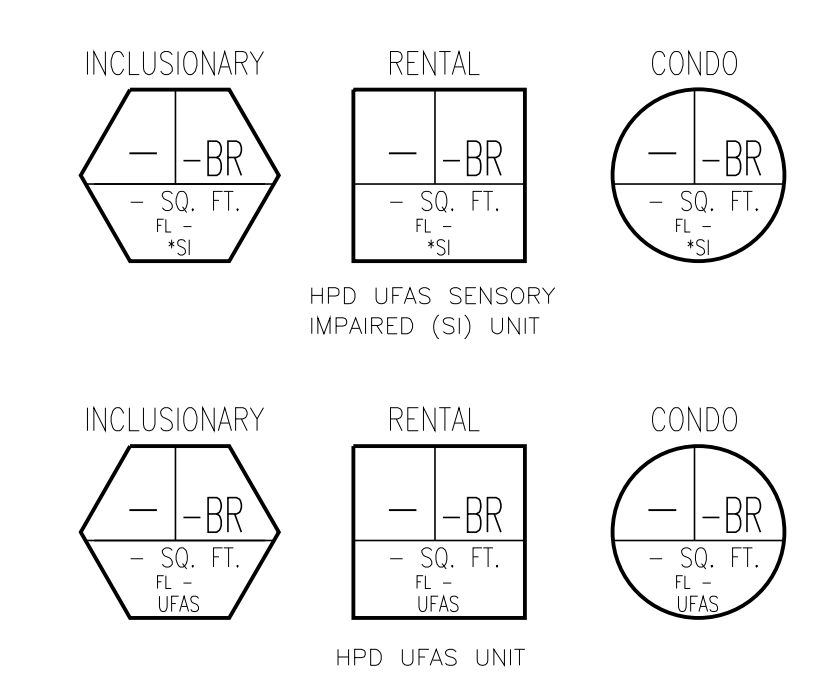
FLOOR	23
RESIDENTIAL	10,264 SF
CORE AREA	1,486 SF
TOTAL GFA	11,750 SF

1 23RD FLOOR PLAN
SCALE: 1/8" = 1'-0"





1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



24TH FLOOR			
PER B.C. 104-1.1			
TYPE	NET AREA	NET FLOOR AREA	OCCUPANT COUNT
1	789	300	4
2	1057	200	8
3	2238	200	10
5	1684	200	9
7	1444	200	8
8	483	200	3
9	227	200	7
10	1050	200	6
TOTAL	10515 SQ. FT.		57

CONSTRUCTION CLASS 18
DOOR CAPACITY, PER B.C. 104-1.1
CAPACITY OF DOOR TO STAIR A STAIR B IS 160 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY)
DOOR WIDTH PER B.C. 104-1.1
(THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY, PER B.C. 104-1.1
CAPACITY OF STAIRLAND IS 48 PEOPLE PER 44" WIDE STAIR. TOTAL OF 208 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)
NOTES:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1-1/2 HR. RATED
FULL COMPLIANCE WITH NFPA 101
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS.
ENTRANCE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.
PROPOSED EXIT PASSAGEWAY COMPLIES WITH B.C. 104-1.1 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHINGS.
ENERGY CODE PROFESSIONAL STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY AIA PERSON, HE WILL PROVIDE AN ACCESSIBLE WASHROOM UNIT.

Number	Date	Revision
6	10/20/2017	008 SUBMISSION
7	10/14/2016	008 ALT. 2
8	07/25/2016	008 SUBMISSION
5	06/27/2016	008 SUBMISSION
4	02/03/2016	008 SUBMISSION
3	08/21/2015	008 SUBMISSION
2	07/31/2015	008 SUBMISSION
1	03/09/2015	008 SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-0060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 607-8869

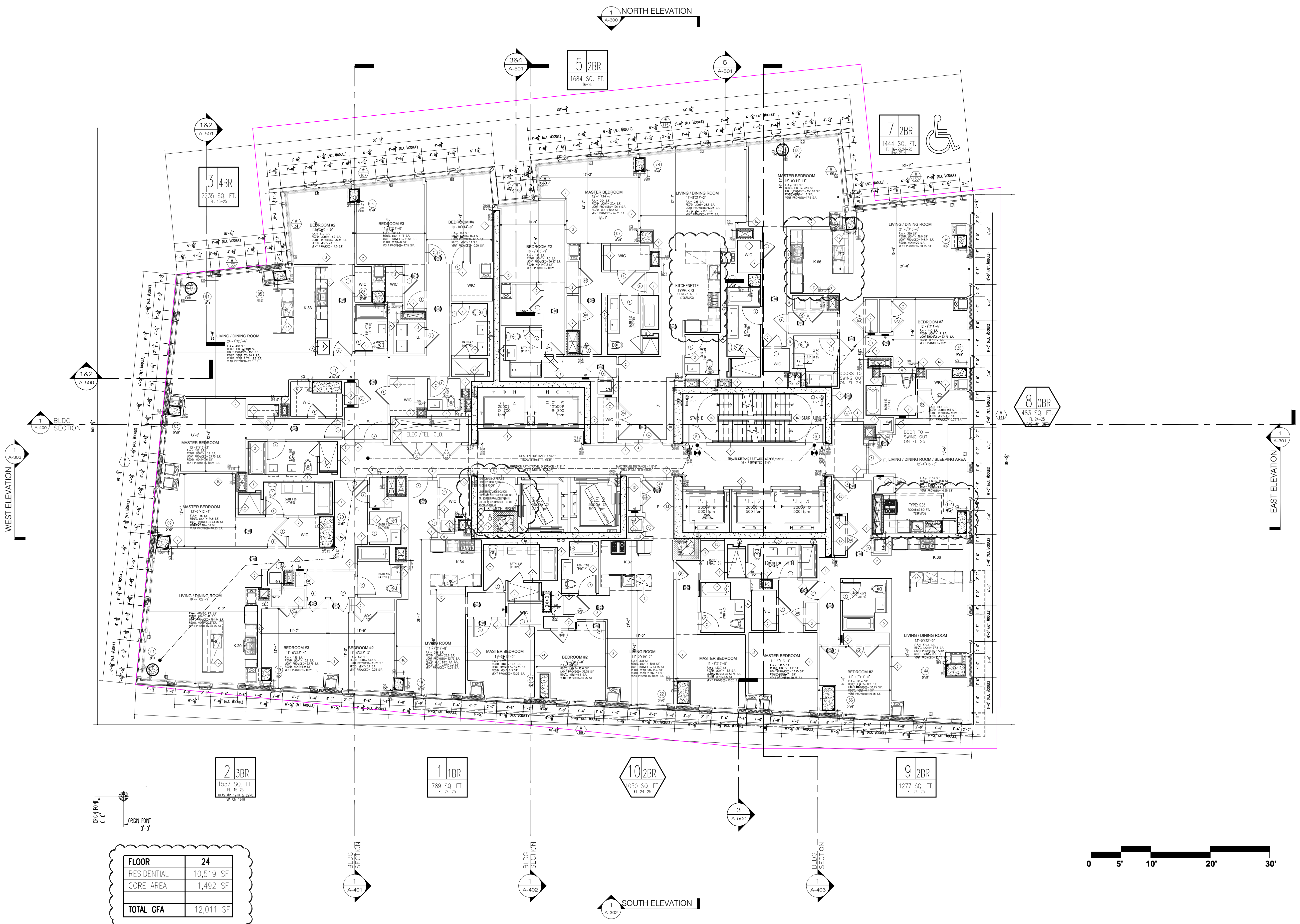
DOB STAMPS & SIGNATURES:



DWG TITLE:
24TH FLOOR PLAN (CONSTRUCTION)
25TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: [Professional Seal]
DATE: 3/6/15
PROJECT #: 14416
SCALE: AS NOTED
A-124.01
DWG NO.

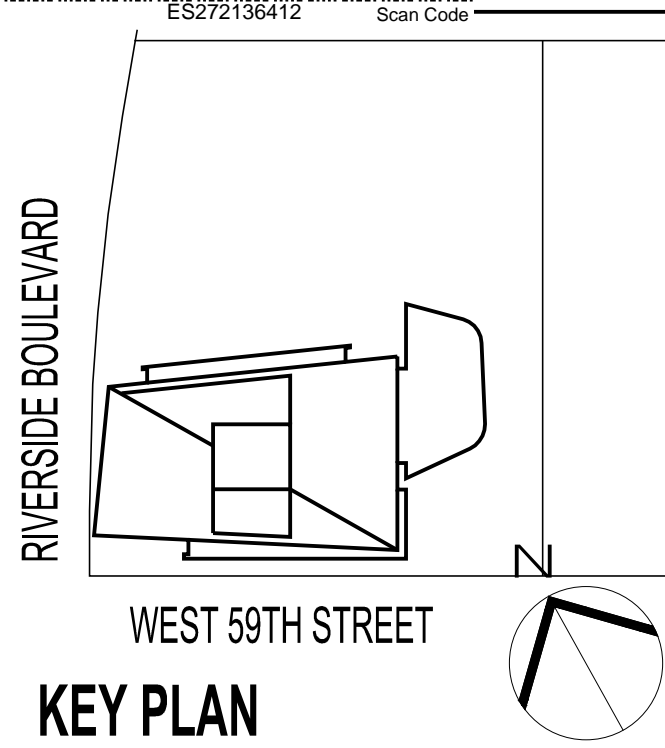
24_24TH FLOOR



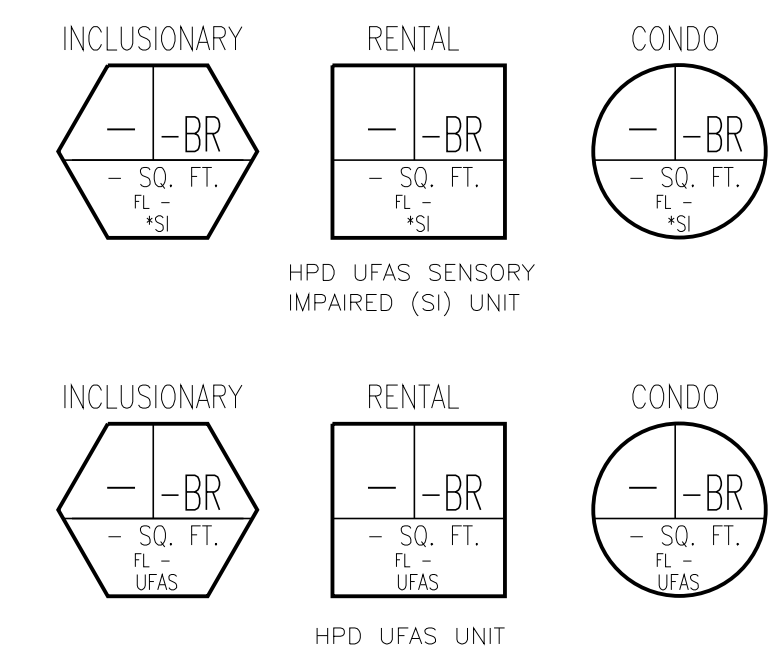
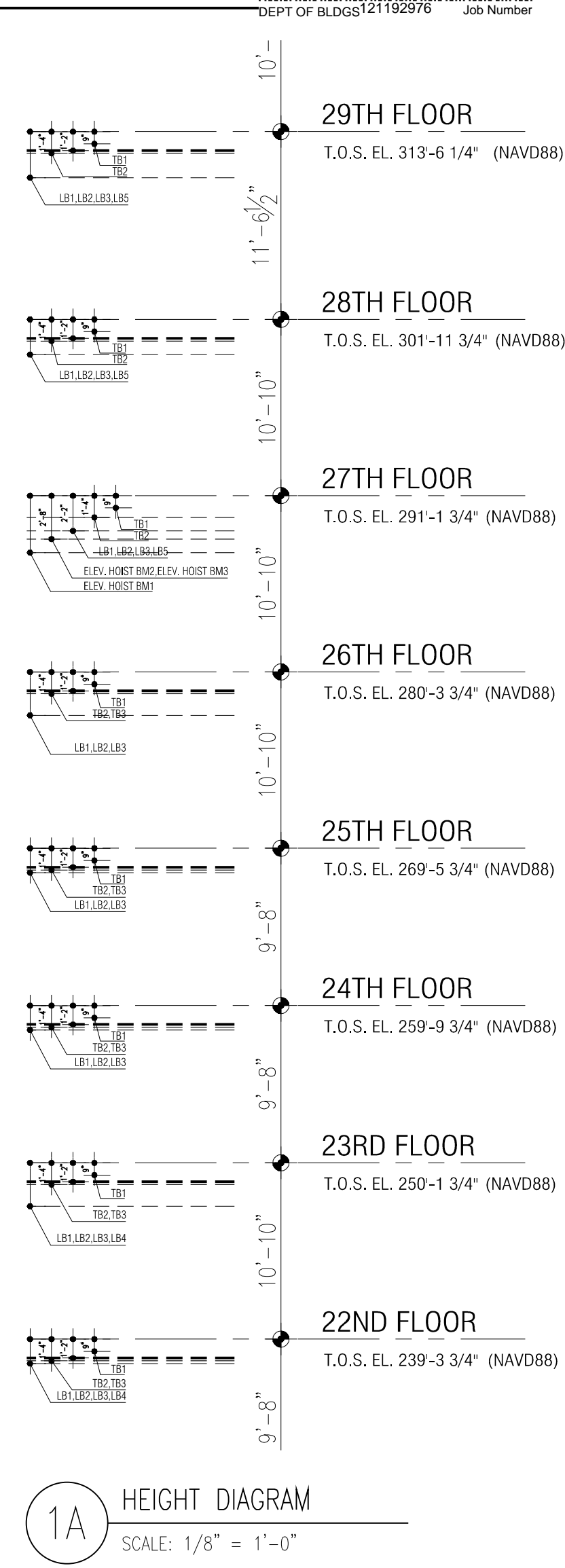
FLOOR	24
RESIDENTIAL	10,519 SF
CORE AREA	1,492 SF
TOTAL GFA	12,011 SF

1 24TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



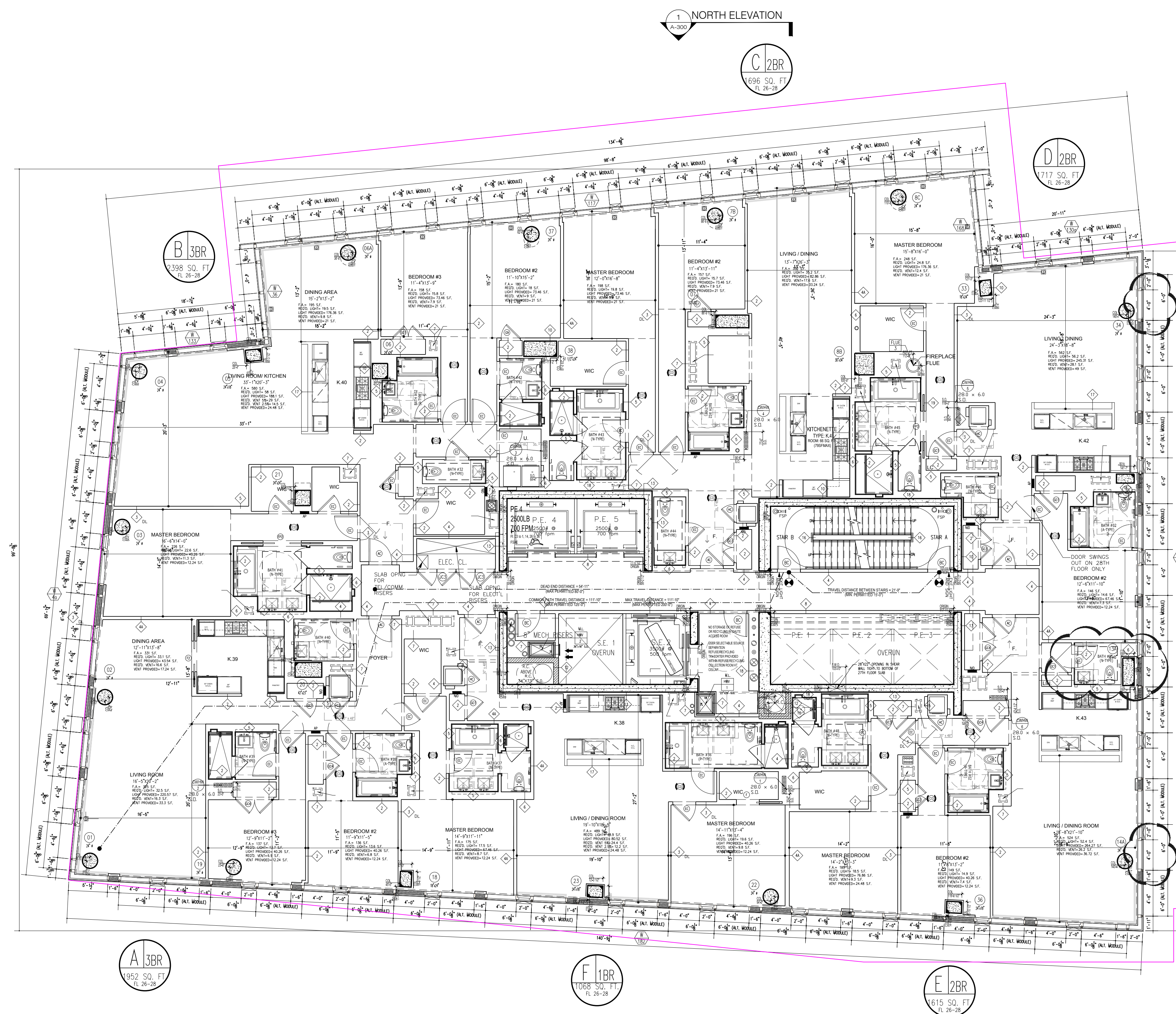


KEY PLAN



26TH FLOOR			
PER B.C. 1004.1.1			
OCCUPANCY TYPE B-2	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
A	192	208	10
B	236	208	12
C	196	208	9
D	177	208	9
E	161	208	9
F	198	208	6
TOTAL	1046 SQ. FT.		55

CONSTRUCTION CLASS B-2
DOOR CAPACITY PER B.C. 1004.1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 18 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLES IN MAX DOOR CAPACITY)
DOOR WIDTH PER B.C. 1004.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY PER B.C. 1004.1.1
CAPACITY OF STAIR A AND B IS 144 PEOPLE PER 44" WIDE STAIR. TOTAL OF 288 PEOPLE. (TOTAL OCCUPANT LOAD COMPLES IN MAX STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED
P.F.S.C.
FULL COMPLIANCE WITH NYCEC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS.
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.
PROPOSED EXIT PASSAGEWAY COMPLIES WITH BC-1002 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND PARTITIONINGS.
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY ABA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOM/UNIT.



FLOOR	26
RESIDENTIAL	10,445 SF
CORE AREA	1160 SF
MECHANICAL	410 SF
TOTAL GFA	12,015 SF

26TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/23/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	08/21/2015	DOB SUBMISSION
2	07/21/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/ELECTRICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

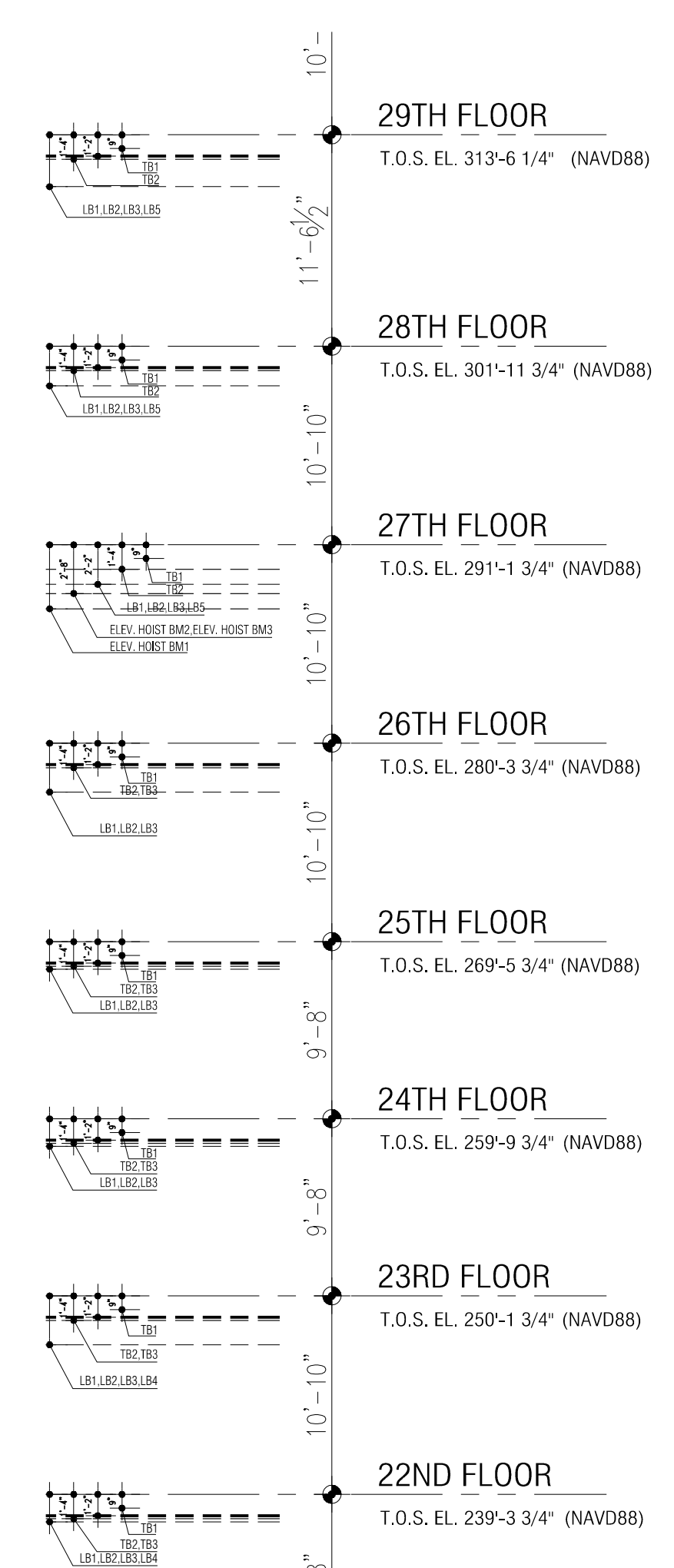
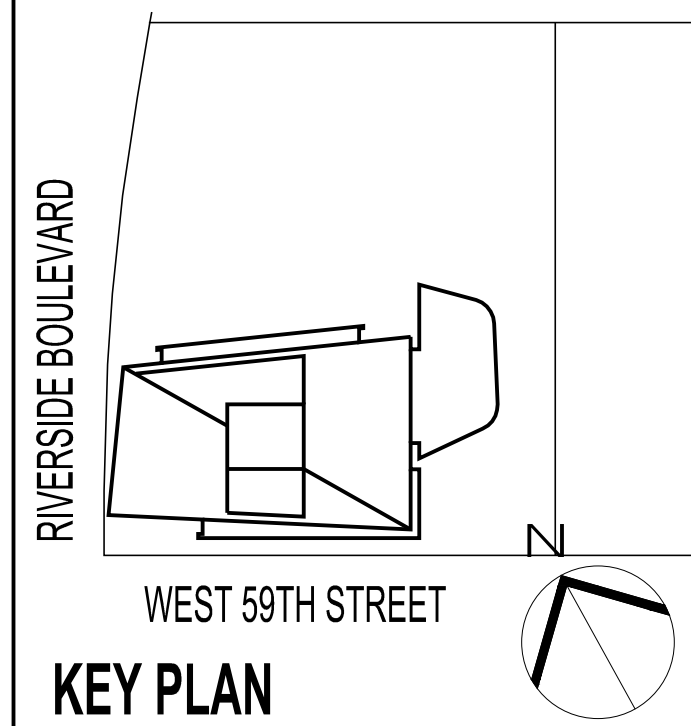
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:
Victor Daza
APPROVED
Under Director's of 2015
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

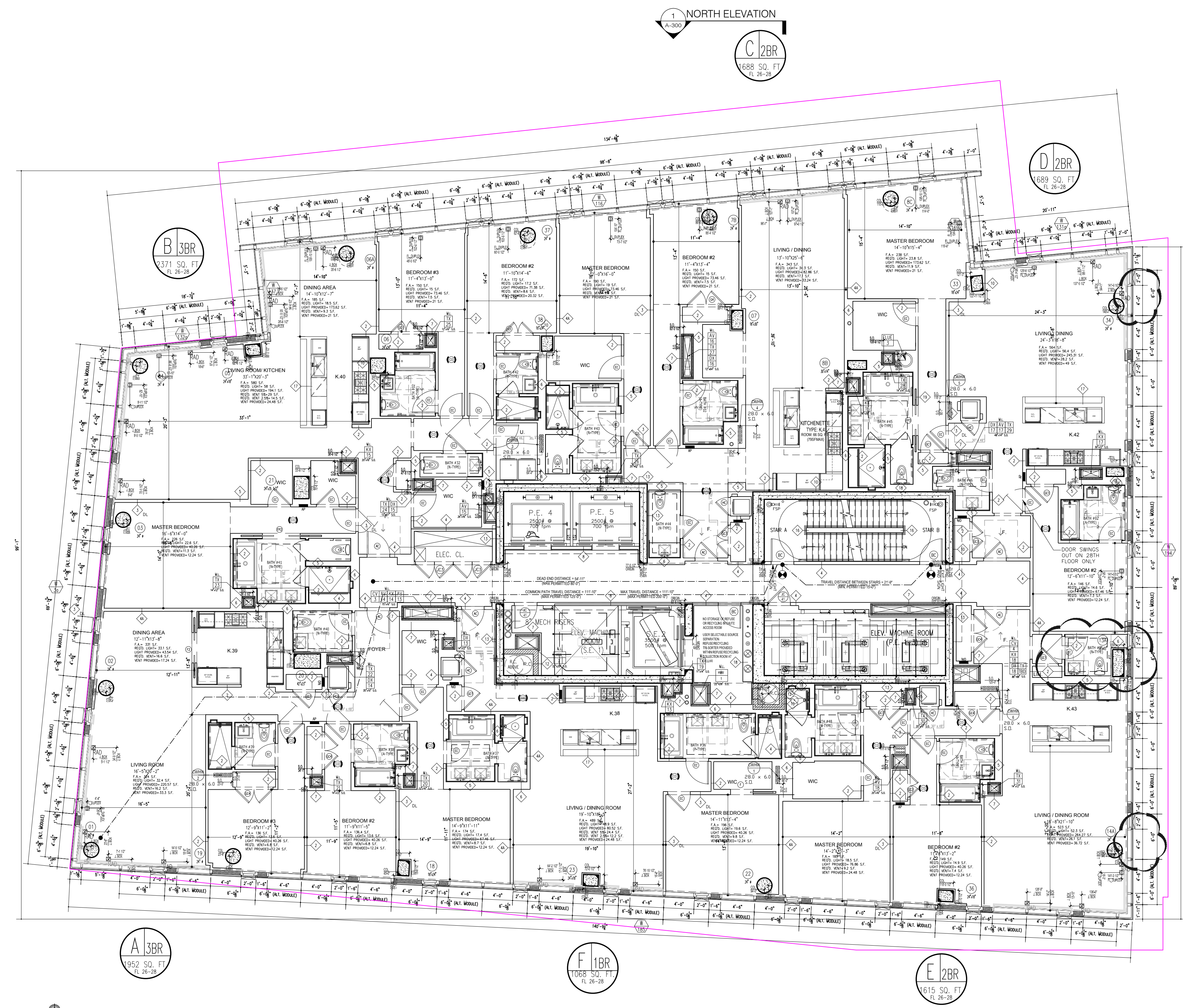
DWG TITLE:
26TH FLOOR PLAN (CONSTRUCTION)
27TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
STEPHEN T. LEE
DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-126.01
DWG NO.

X-126_26TH FLOOR



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



FLOOR	27
RESIDENTIAL	10,383 SF
CORE AREA	1,159 SF
MECHANICAL	410 SF
TOTAL GFA	11,952 SF

1 27TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

INCLUSIONARY

RENTAL

CONDO

INCLUSIONARY

RENTAL

CONDO

27TH FLOOR

PER B.C. 1004.1.1

TYPE	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
A	1602	200	10
B	2271	200	12
C	1688	200	9
D	1688	200	9
E	1615	200	9
F	1688	200	9
TOTAL	10302 SQ. FT.		55

CONSTRUCTION CLASS 1A

DOOR CAPACITY: PER B.C. 1005.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 300 PEOPLE PER 30" WIDE OPENING. TOTAL OF 300 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY.

DOOR WIDTH: PER B.C. 1006.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY: PER B.C. 1009.1
CAPACITY OF STAIR A AND B IS 148 PEOPLE PER 44" WIDE STAIR. TOTAL OF 296 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY)

NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED
P.F.S.C.
FULL COMPLIANCE WITH NYECC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
PREPARED BY NYECC/ADDITIONAL COMPLIES WITH SECTION 20200 WITH REBATES TO WEATH. HEIGHT, CONSTRUCTION, OPENINGS, AND PENETRATIONS
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY AOA PERSON, HE WILL PROVIDE AN ACCESSIBLE WASHROOM/UNIT.

Number	Date	Revised
6	10/20/2017	008 SUBMISSION
7	10/14/2016	008 ALT. 2
8	07/25/2016	008 SUBMISSION
5	06/07/2016	008 SUBMISSION
4	03/03/2016	008 SUBMISSION
3	02/21/2015	008 SUBMISSION
2	01/31/2015	008 SUBMISSION
1	03/06/2015	008 SUBMISSION

OWNER:	GID DEVELOPMENT 125 HIGH STREET BOSTON, MA 02110
PROJECT:	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY
EXECUTIVE ARCHITECT:	

HILL | WEST

ARCHITECTS

11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212.213.8007

DESIGN ARCHITECT:

RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
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Tel: (212) 957-0060

STRUCTURAL ENGINEER:

WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St., 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MECHANICAL ENGINEER:

WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:

CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 607-8869

DOB STAMPS & SIGNATURES:

Victor Daza

APPROVED
Under Direction of DOB
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DWG TITLE:
27TH FLOOR PLAN (CONSTRUCTION)
28TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:

DATE: 3/6/15

PROJECT #: 14416

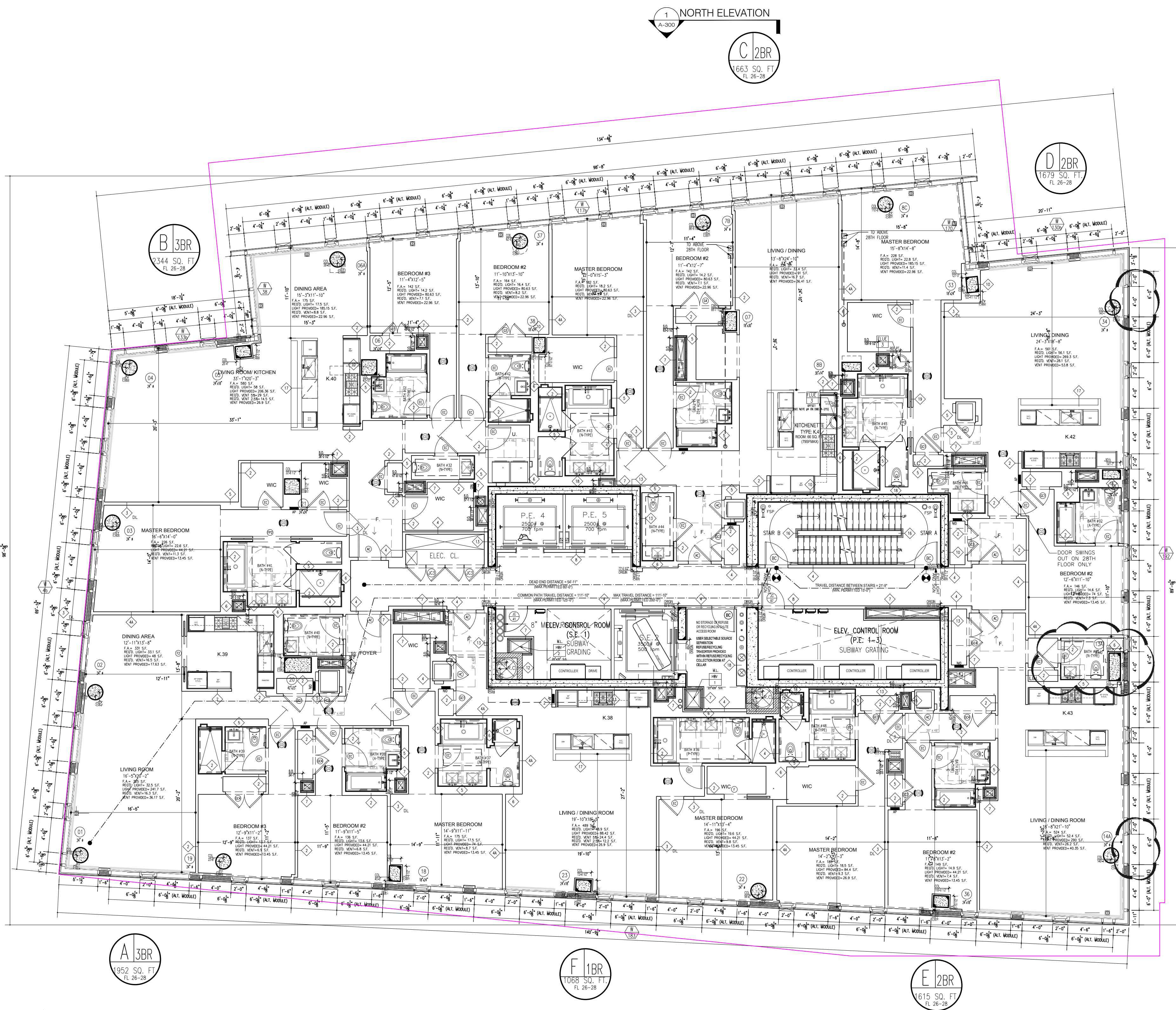
SCALE: AS NOTED

A-127.01

DWG NO.

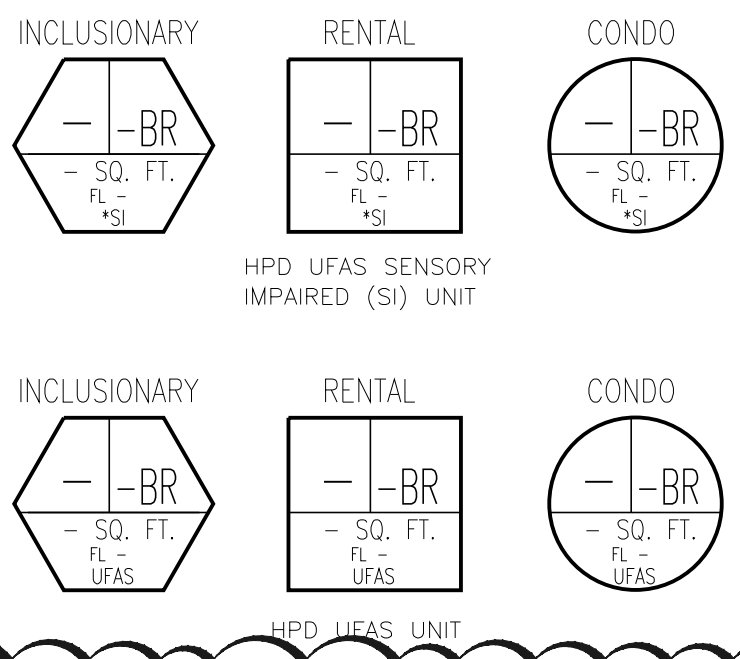
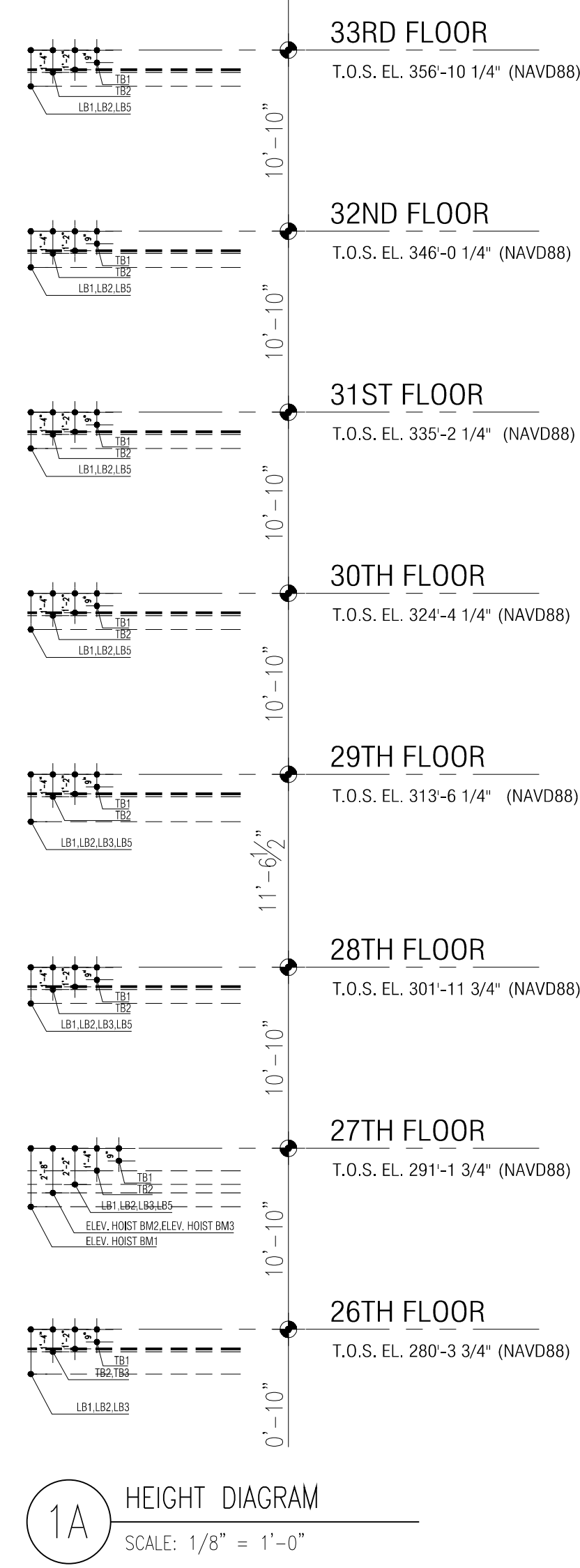
27TH FLOOR





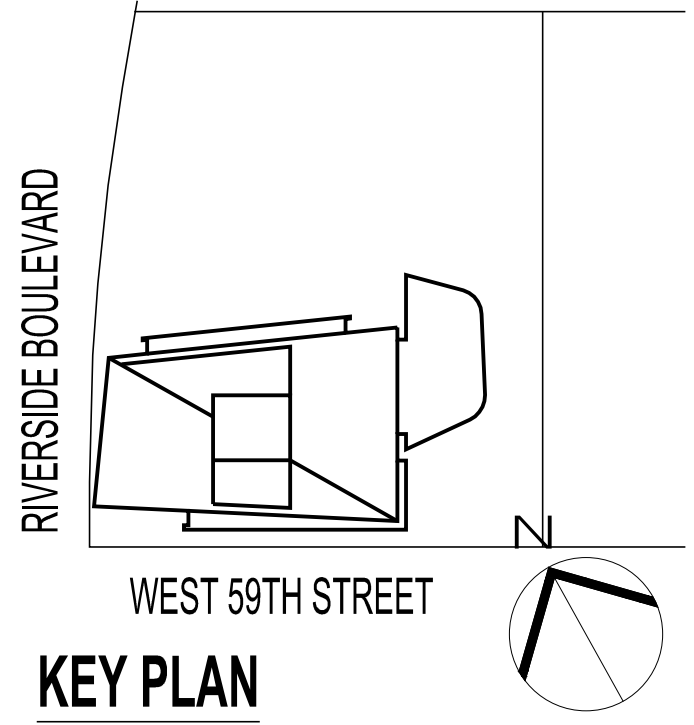
FLOOR	28
RESIDENTIAL	10,320 SF
CORE AREA	1,159 SF
MECHANICAL	410 SF
TOTAL GFA	11,890 SF

28TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



28TH FLOOR			
PER B.C. 1004.1.1			
OCCUPANCY TYPE (B2)	NET AREA	NET FLOOR AREA (NET FLOOR AREA)	OCCUPANT COUNT
APARTMENT			
A	192	200	10
B	234	200	12
C	192	200	9
D	192	200	9
E	192	200	9
F	192	200	9
TOTAL	1001 SQ. FT.		55

CONSTRUCTION CLASS 1B
DOOR OPENING PER B.C. 1004.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 18 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLES IN MIN. DOOR CAPACITY)
DOOR WIDTH PER B.C. 1004.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR OPENING PER B.C. 1004.1
CAPACITY OF STAIR A AND B IS 18 PEOPLE PER 44" WIDE STAIR. TOTAL OF 360 PEOPLE. (TOTAL OCCUPANT LOAD COMPLES IN MIN. STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED
P.F.S.C.
FULL COMPLIANCE WITH NYC CODE
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS.
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.
PROPOSED EXIT PASSAGEWAY COMPLIES WITH B.C. 1002.2 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND FINISHINGS.
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY AIA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOM/VENUE UNIT.



KEY PLAN
RIVERSIDE BOULEVARD
WEST 59TH STREET

Number	Date	Revision
1	10/20/2017	DOB SUBMISSION
2	10/20/2017	DOB SUBMISSION
3	10/20/2017	DOB SUBMISSION
4	10/20/2017	DOB SUBMISSION
5	10/20/2017	DOB SUBMISSION
6	10/20/2017	DOB SUBMISSION
7	10/20/2017	DOB SUBMISSION
8	10/20/2017	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110
PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY
EXECUTIVE ARCHITECT:

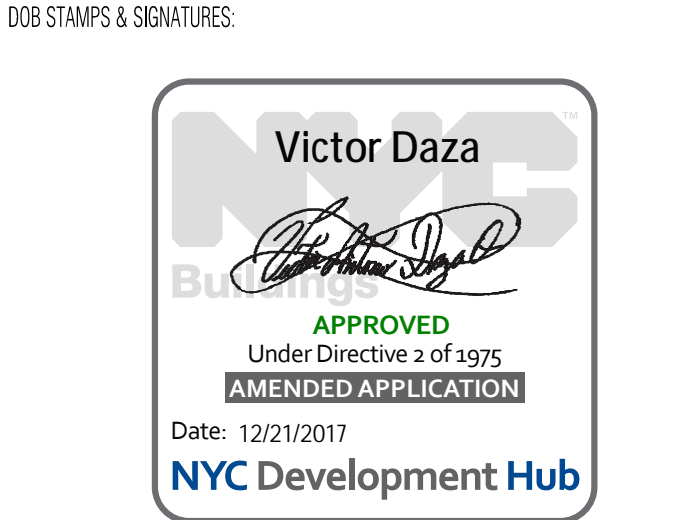
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T: 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

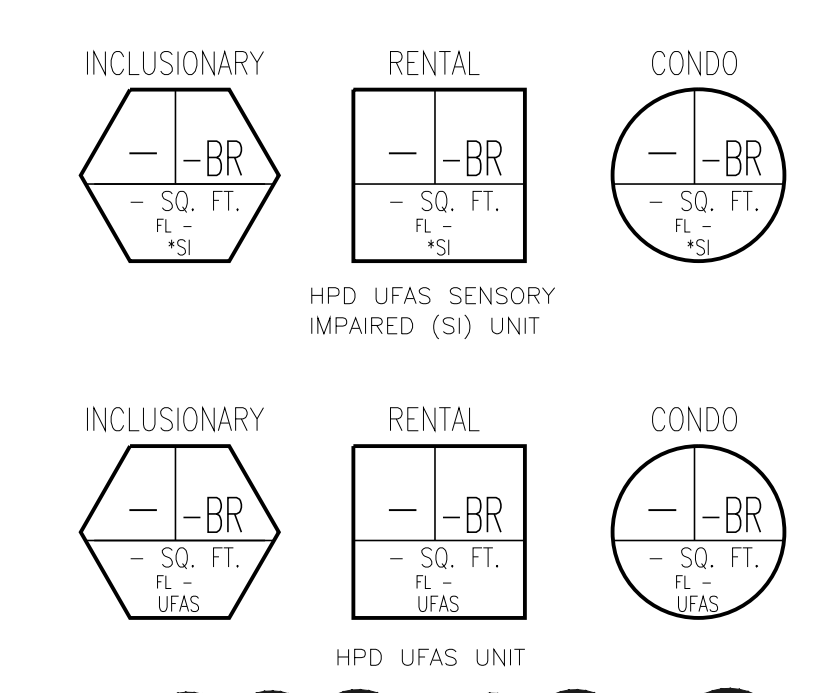
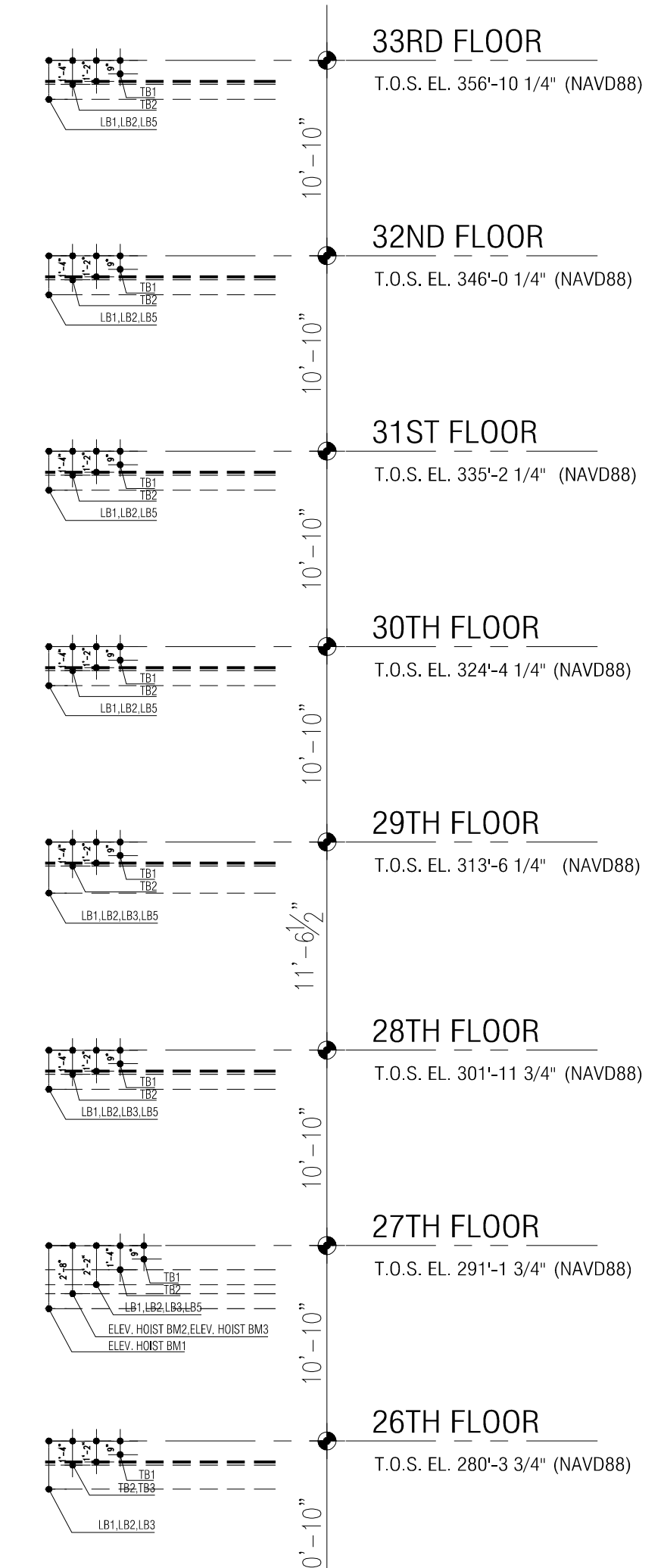
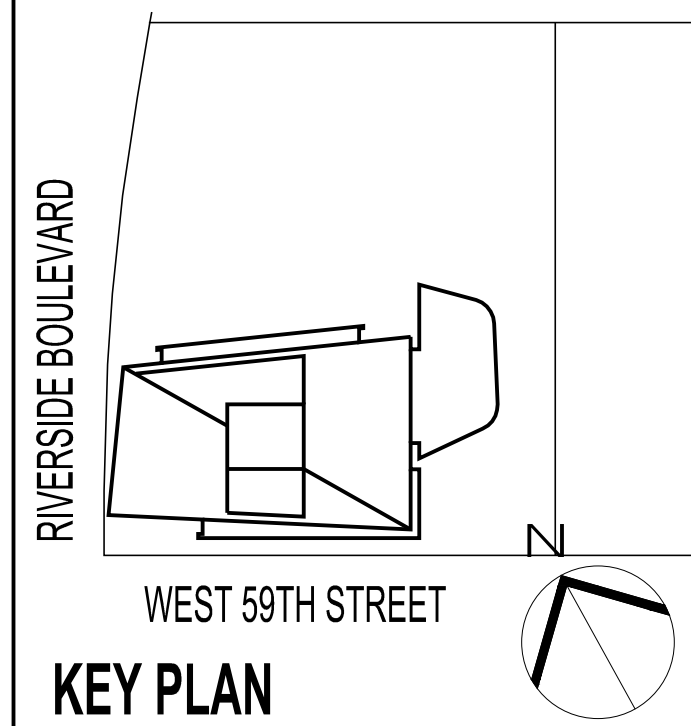
MEP/ELECTRICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869



DWG TITLE:
28TH FLOOR PLAN (CONSTRUCTION)
29TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: [Professional Seal]
DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-128.01
DWG NO.: A-128_28TH FLOOR



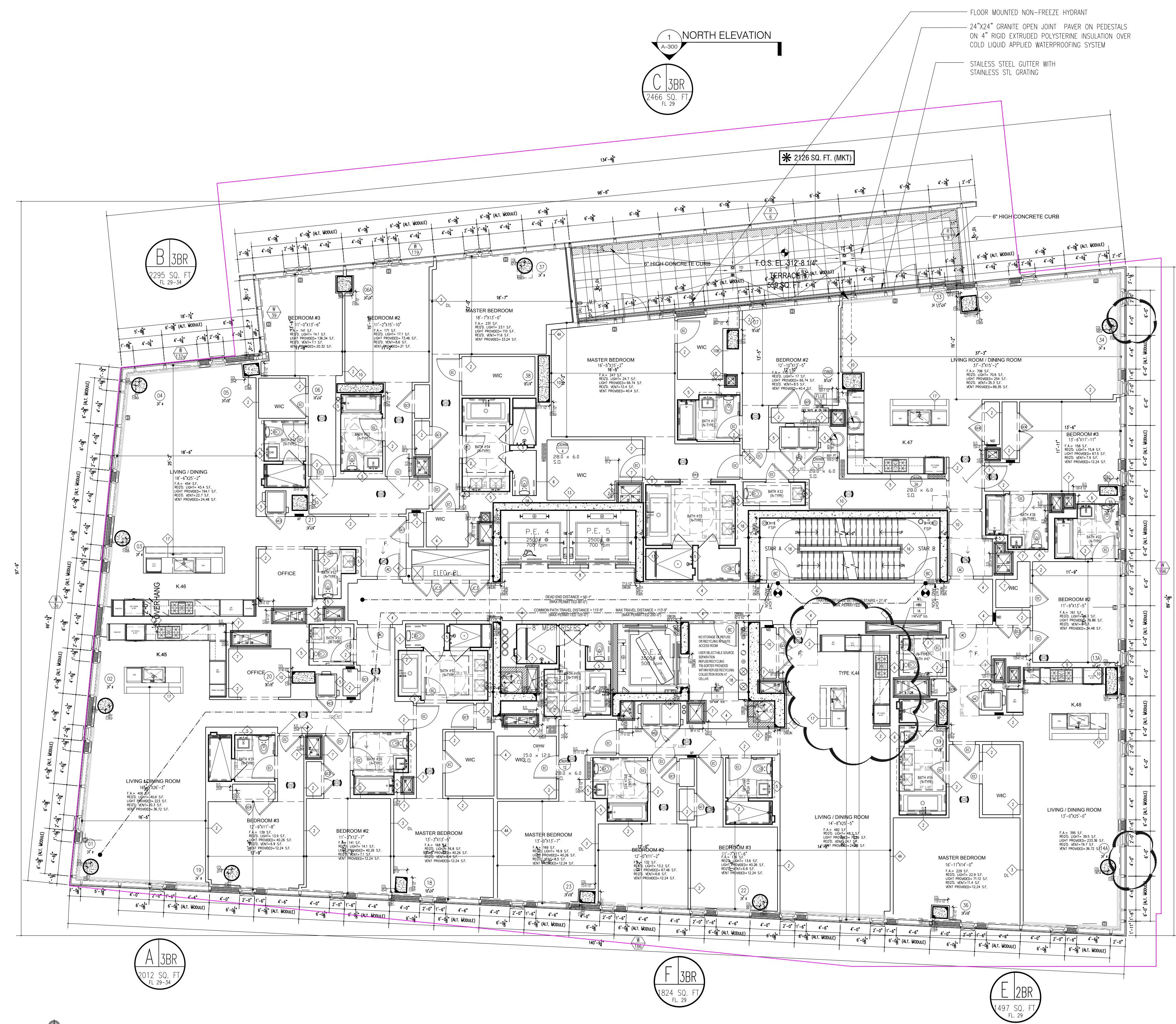
29TH FLOOR			
PER B.C. 1004.1.1			
OCCUPANCY TYPE PER 1004.2	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
TYPE	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
A	2012	200	11
B	2266	200	12
C	2466	200	13
E	1487	200	8
F	1824	200	10
TOTAL	10094 SQ. FT.		54

CONSTRUCTION CLASS 10
DOOR CAPACITY PER B.C. 1005.1
CAPACITY OF DOOR TO STAIR A IS 50 PEOPLE PER 30" WIDE OPENING. TOTAL OF 300 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAX DOOR CAPACITY.

DOOR WIDTH PER B.C. 1006.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY PER 1006.1
CAPACITY OF STAIR A AND B IS 48 PEOPLE PER 44" WIDE STAIR. TOTAL OF 202 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAX STAIR CAPACITY)

NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
F.P.S.C.
FULL COMPLIANCE WITH NYCEC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTOR ADJACENT TO SLEEPING AREA.
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.
PROPOSED EXIT PASSAGEWAY COMPLIES WITH EC1020 WITH REGARDS TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND RESTRICTIONS.
ENERGY CODE PROFESSIONAL STATEMENT: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY ANY PERSON, HE WILL PROVIDE AN ACCESSIBLE HASHPRINTER UNIT.



FLOOR	29
RESIDENTIAL	10,094 SF
CORE AREA	1,170 SF
TOTAL GFA	11,265 SF

1 29TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



Number	Date	Revised
8	10/20/2017	008 SUBMISSION
7	10/14/2016	008 AL2
6	07/25/2016	008 SUBMISSION
5	06/07/2016	008 SUBMISSION
4	03/03/2016	008 SUBMISSION
3	02/21/2015	008 SUBMISSION
2	01/31/2015	008 SUBMISSION
1	03/06/2015	008 SUBMISSION

OWNER	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
PROJECT	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY
EXECUTIVE ARCHITECT	

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
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Tel: (212) 957-0060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
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CONSULTING ENGINEERS
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Tel: (212) 532-9600

INTERIOR DESIGNER:
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475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 607-8869

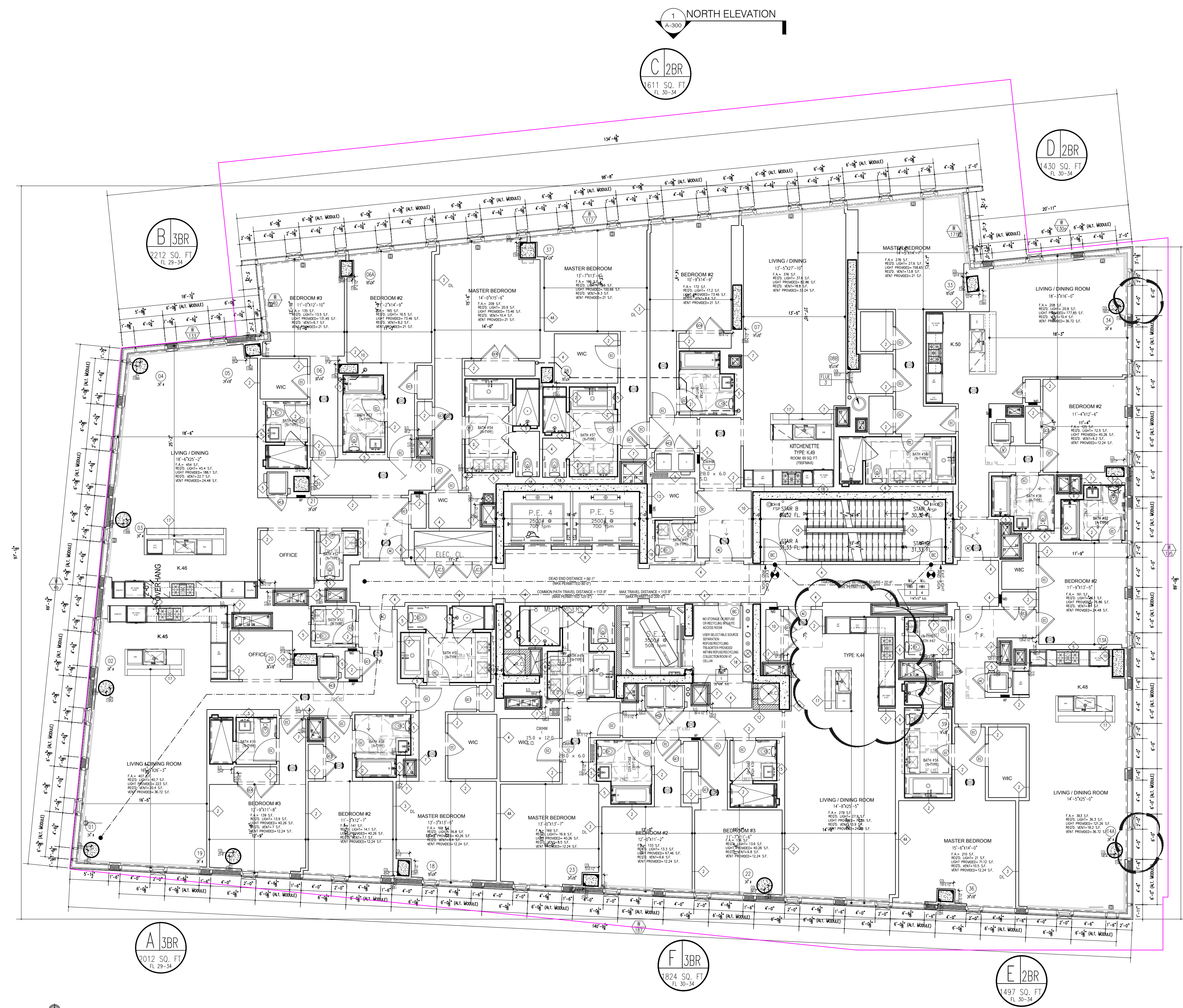
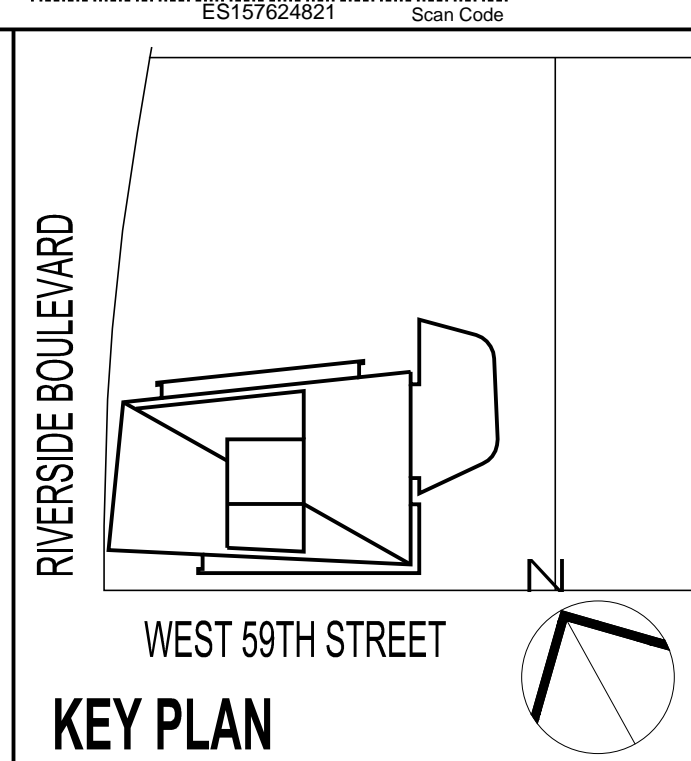
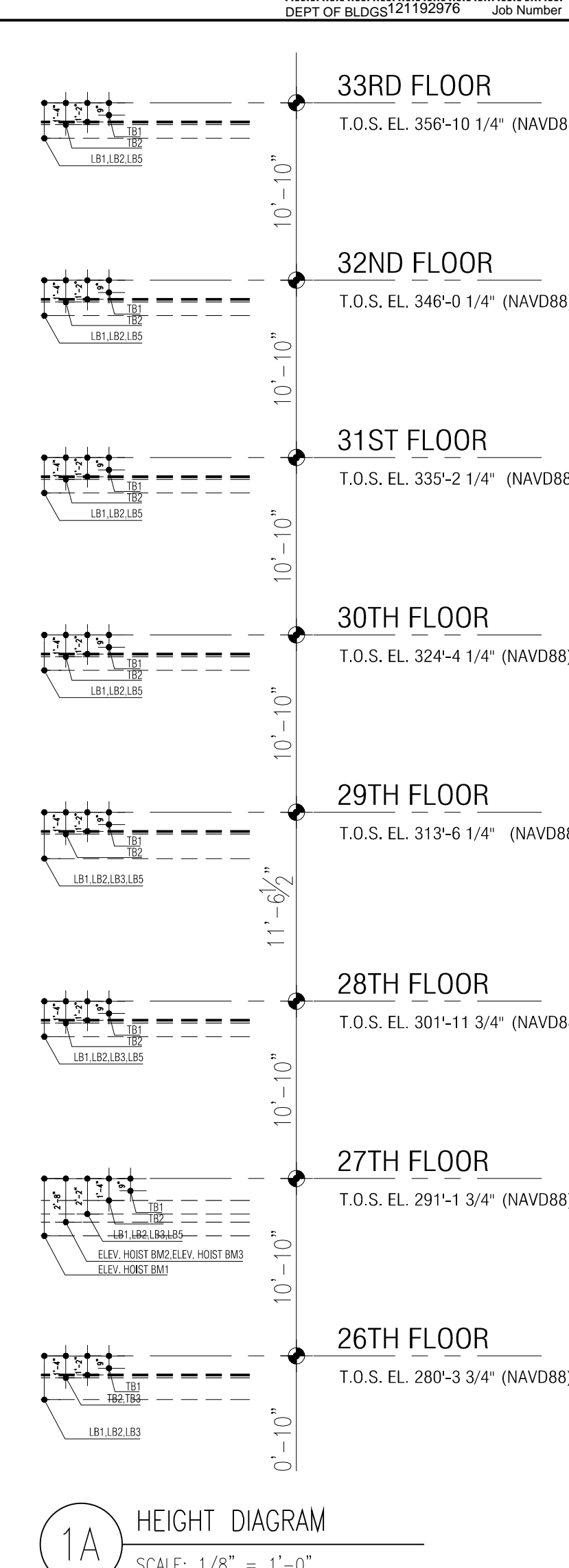
DOB STAMPS & SIGNATURES:

APPROVED
Union Director's stamp of 03/05
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DWG TITLE:
29TH FLOOR PLAN (CONSTRUCTION)
30TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:

DATE: 3/6/15
PROJECT #: 14416
SCALE: AS NOTED
A-129.01
DWG NO.
29TH FLOOR



INCLUSIONARY	RENTAL	CONDO
HPD UFAS SENSORY IMPAIRED (SI) UNIT	HPD UFAS UNIT	HPD UFAS UNIT

30TH FLOOR			
PER B.C. 106.1.1			
OCCUPANCY TYPE PER 2	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
A	2012	200	11
B	2012	200	12
C	1811	200	9
D	1430	200	8
E	1487	200	8
F	1824	200	10
TOTAL	1598 SQ. FT.		58

CONSTRUCTION CLASS 1A
DOOR CAPACITY PER B.C. 106.1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 30 PEOPLE PER 30" WIDE OPENING. TOTAL OF 30 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY.
DOOR WIDTH PER B.C. 106.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY PER B.C. 106.1.1
CAPACITY OF STAIR A AND B IS 148 PEOPLE PER 44" WIDE STAIR. TOTAL OF 296 PEOPLE. TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY.
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATORS & STAIR DOORS TO BE 1-1/2 HR. RATED
P.F.S.C.
FULL COMPLIANCE WITH NFPA 101
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS
ENTRANCE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
PREPARED FOR PRESUBMITTAL COMPLIES WITH SECTION 903.0 WITH REVISIONS TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND PENETRATIONS
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY AOA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOM UNIT.

FLOOR	30
RESIDENTIAL	10,586 SF
CORE AREA	1,173 SF
TOTAL GFA	11,759 SF

1 30TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



Number	Date	Revision
8	10/20/2017	008 SUBMISSION
7	10/14/2016	008 ALT.2
6	07/25/2016	008 SUBMISSION
5	06/07/2016	008 SUBMISSION
4	03/03/2016	008 SUBMISSION
3	08/21/2015	008 SUBMISSION
2	07/31/2015	008 SUBMISSION
1	03/09/2015	008 SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110
PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY
EXECUTIVE ARCHITECT: HILL | WEST ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212.213.8807

DESIGN ARCHITECT: RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-0060

STRUCTURAL ENGINEER: WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St., 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

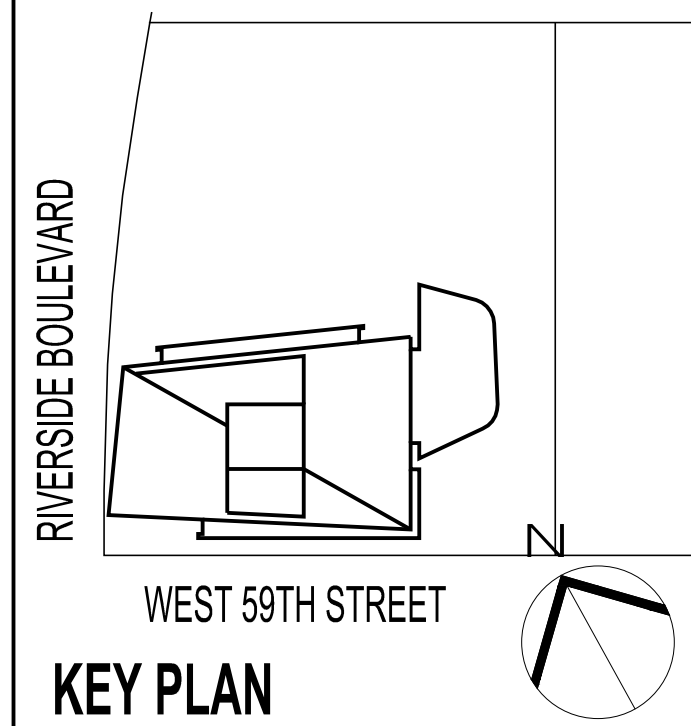
MEP ENGINEER: WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER: CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 687-8869

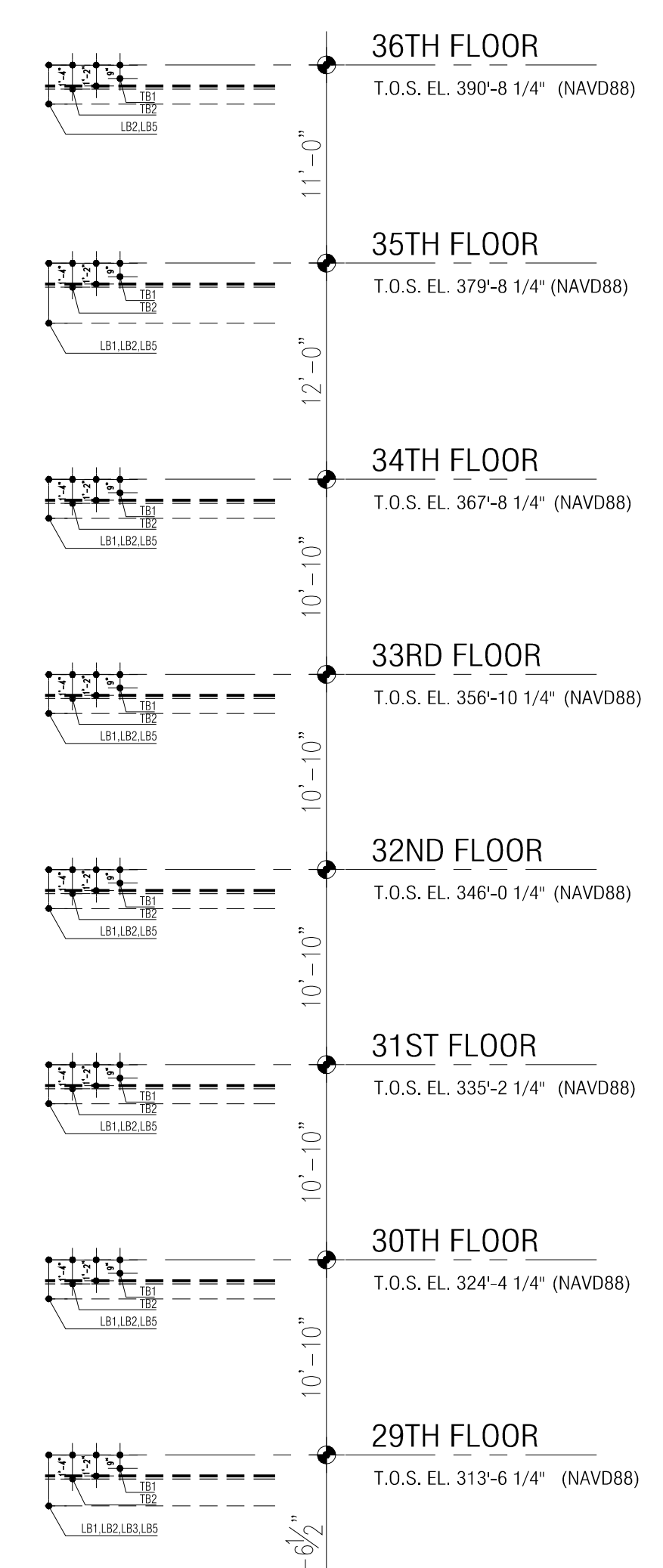
DOB STAMPS & SIGNATURES:
Victor Daza
APPROVED
Under Direction of 3 of 305
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DWG TITLE:
30TH FLOOR PLAN (CONSTRUCTION)
31ST FLOOR PLAN (MARKETING)

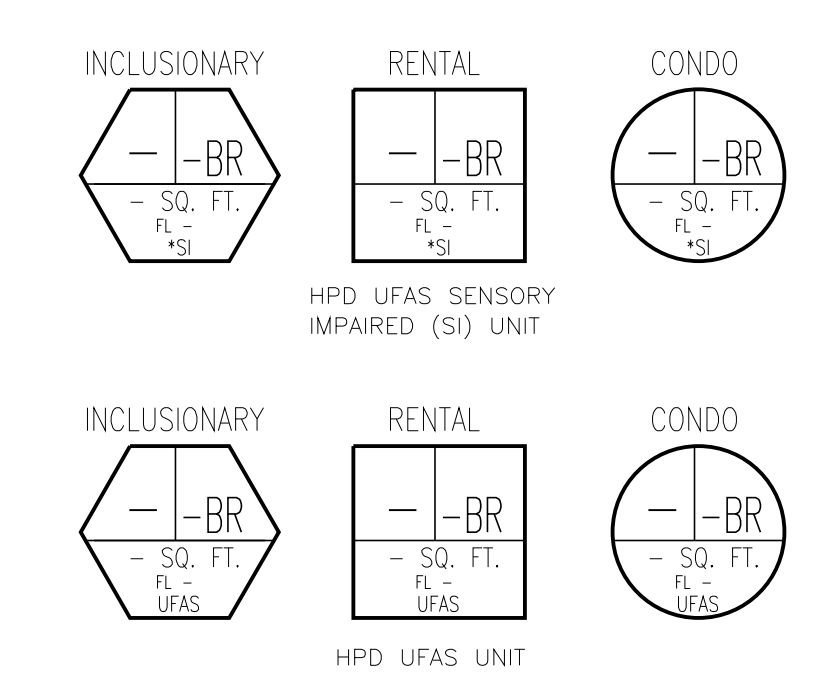
SEAL & SIGNATURE: Victor Daza
DATE: 3/6/15
PROJECT #: 14416
SCALE: AS NOTED
A-130.01
DWG NO.: 130_30TH FLOOR



KEY PLAN



1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



31ST FLOOR			
PER B.C. 106.1.1			
OCCUPANCY TYPE PER 2	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
TYPE			
APARTMENT			
A	202	200	11
B	218	200	11
C	184	200	9
D	149	200	8
E	147	200	8
F	184	200	10
TOTAL	1554 SQ. FT.		56

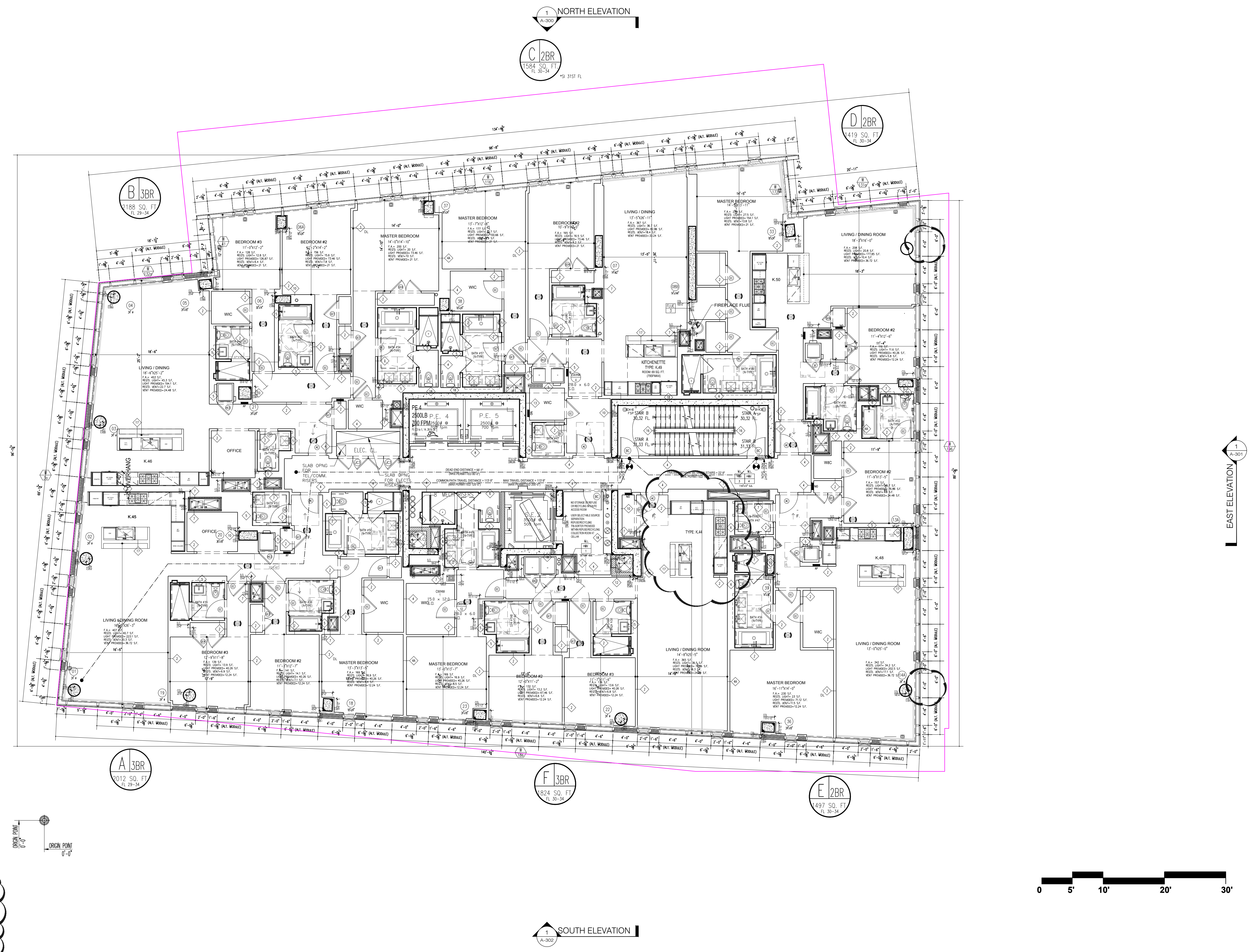
CONSTRUCTION CLASS 1A

DOOR CAPACITY PER B.C. 106.1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 30 PEOPLE PER 30" WIDE OPENING. TOTAL OF 30 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY.

DOOR WIDTH PER B.C. 106.1.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)

STAIR CAPACITY PER B.C. 106.1.1
CAPACITY OF STAIR A AND B IS 148 PEOPLE PER 44" WIDE STAIR. TOTAL OF 296 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY)

NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1 - 1/2 HR. RATED
P.F.S.C.
FALL COMPLIANCE WITH NYECC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS
ENTRANCE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
IMPROVED ENTRY PRESSURIZATION COMPLIES WITH SC1000 WITH REBARES TO WEATH, HEIGHT, CONSTRUCTION, OPENINGS, AND PENETRATIONS
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE
IF REQUESTED BY AOA PERSON, HE WILL PROVIDE AN ACCESSIBLE WASHROOM UNIT.



FLOOR	31
RESIDENTIAL	10,524 SF
CORE AREA	1,173 SF
TOTAL GFA	11,697 SF

1 31ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



Number	Date	Revised
8	10/30/2017	008 SUBMISSION
7	10/14/2016	008 R.I.T.
6	07/25/2016	008 SUBMISSION
5	06/07/2016	008 SUBMISSION
4	06/03/2016	008 SUBMISSION
3	06/21/2015	008 SUBMISSION
2	07/31/2015	008 SUBMISSION
1	03/06/2015	008 SUBMISSION

OWNER	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
PROJECT	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY
EXECUTIVE ARCHITECT	

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212.713.8807

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-0060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St., 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/FE ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

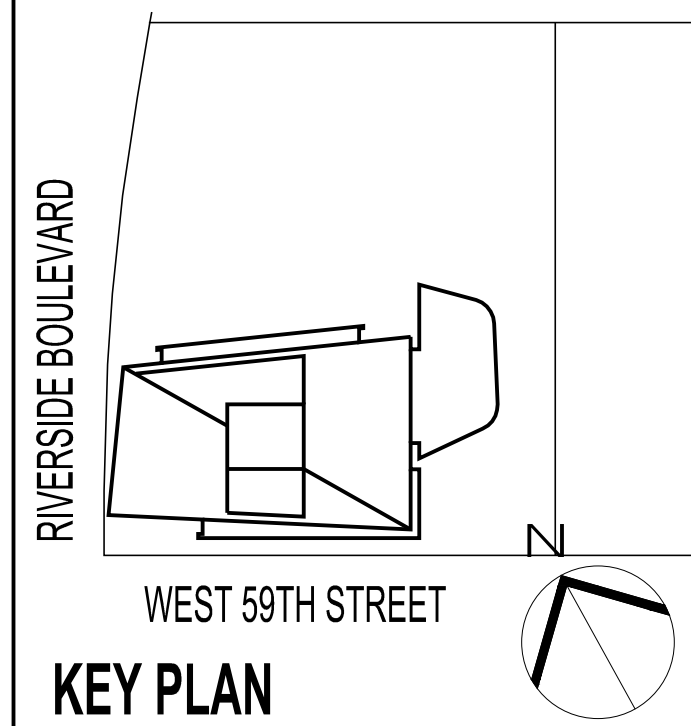
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 687-8869

DOB STAMPS & SIGNATURES:

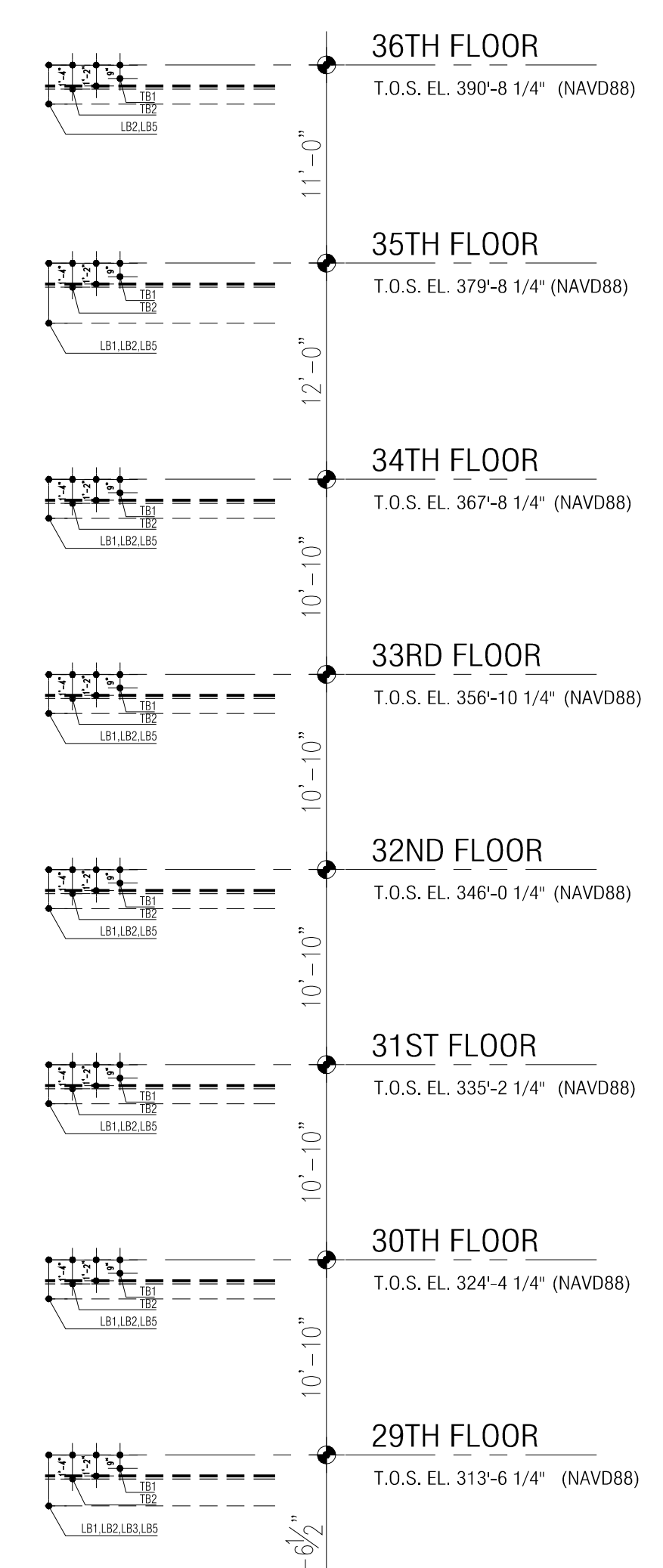
Victor Daza
APPROVED
Under Direction of 3 of 3015
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DWG TITLE:
31ST FLOOR PLAN (CONSTRUCTION)
32ND FLOOR PLAN (MARKETING)

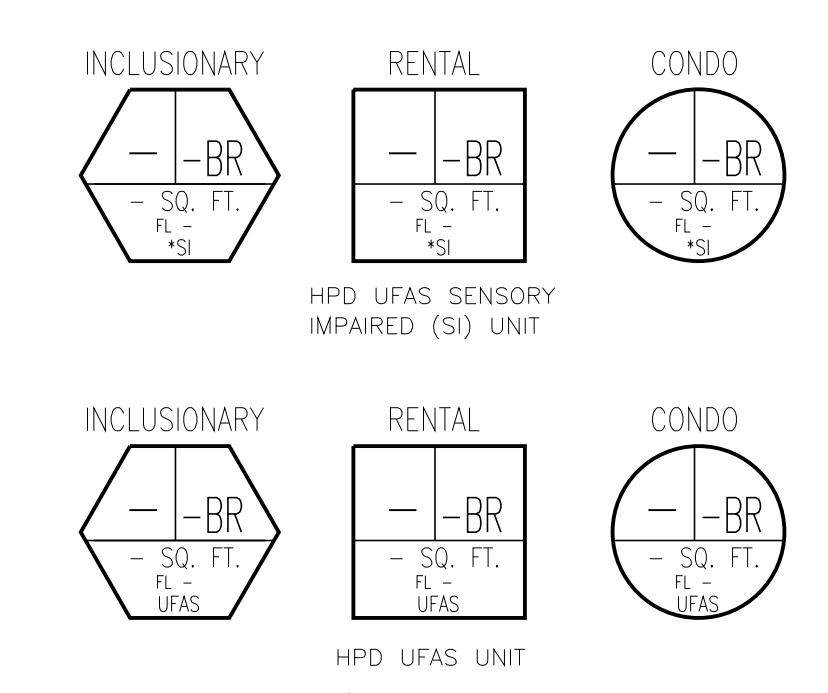
SEAL & SIGNATURE:	DATE:
	3/6/15
PROJECT #:	14416
SCALE:	AS NOTED
DWG NO.	A-131.01
31ST FLOOR	



KEY PLAN

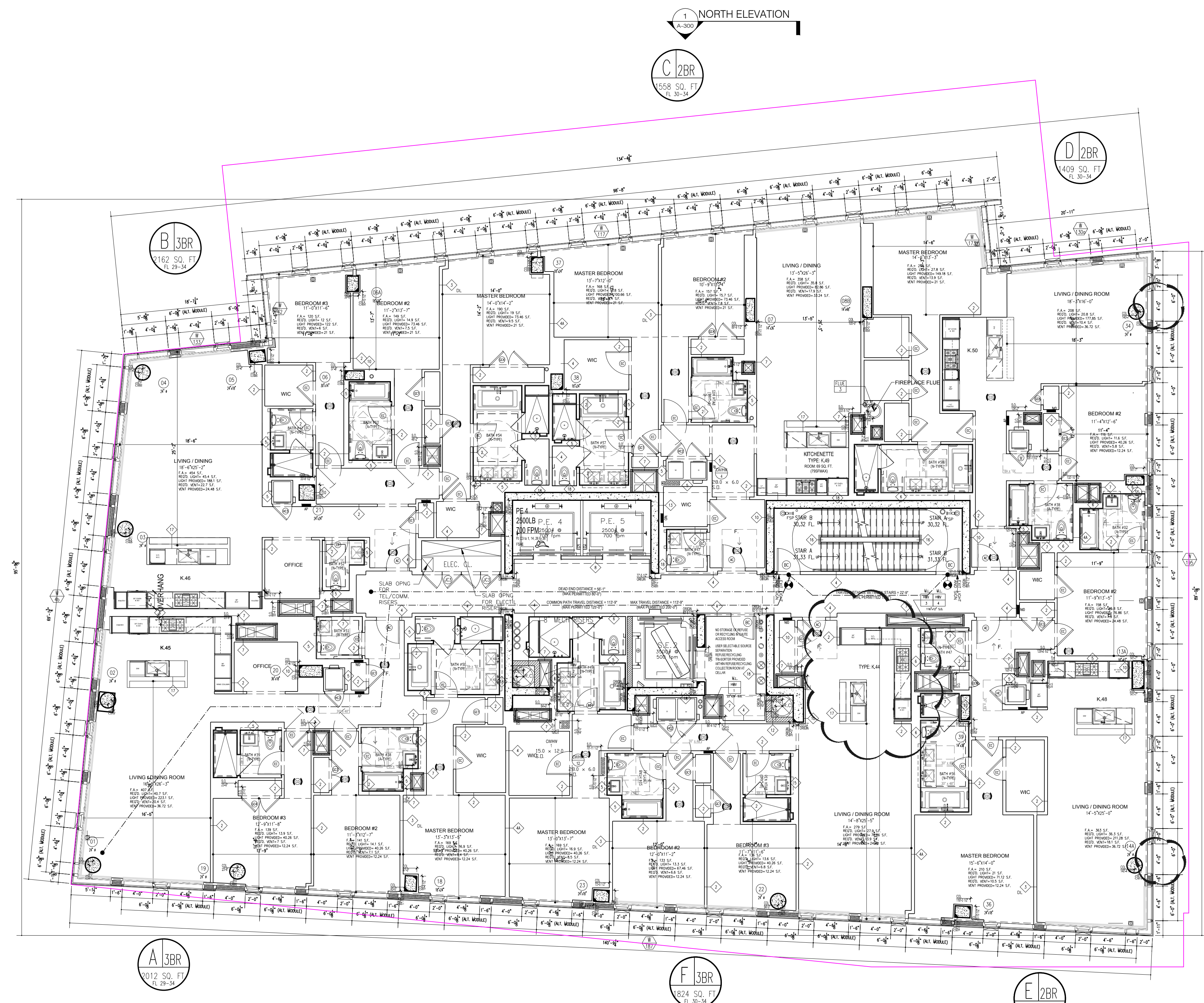


1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



32ND FLOOR			
PER B.C. 106.1.1			
OCCUPANCY TYPE PER B.C. 106.1.1	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
A	2012	200	11
B	2162	200	11
C	1588	200	8
D	1488	200	8
E	1487	200	8
F	1824	200	10
TOTAL	10462 SQ. FT.		56

CONSTRUCTION CLASS 1A
DOOR CAPACITY: PER B.C. 106.1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 30 PEOPLE PER 30" WIDE OPENING. TOTAL OF 30 PEOPLE.
TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY.
DOOR WIDTH: PER B.C. 106.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY: PER B.C. 106.1.1
CAPACITY OF STAIR A AND B IS 148 PEOPLE PER 44" WIDE STAIR. TOTAL OF 296 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH MAXIMUM CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1 - 1/2 HR. RATED
P.F.S.C.
FALL COMPLIANCE WITH NYECC
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS
ENTRANCE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE
PREPARED BUT PRE-ASSEMBLY COMPLIES WITH SECTION WITH REBARS TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND PENETRATIONS
ENERGY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE.
IF REQUESTED BY AOA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOM/UNIT.



FLOOR	32
RESIDENTIAL	10,462 SF
CORE AREA	1,172 SF
TOTAL GFA	11,634 SF

1 32ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



Number	Date	Revision
6	10/20/2017	008 SUBMISSION
7	10/14/2016	008 ALT.2
8	07/25/2016	008 SUBMISSION
5	06/07/2016	008 SUBMISSION
4	06/03/2016	008 SUBMISSION
3	06/21/2015	008 SUBMISSION
2	07/31/2015	008 SUBMISSION
1	03/06/2015	008 SUBMISSION

OWNER:	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
PROJECT:	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY
EXECUTIVE ARCHITECT:	

HILL | WEST
ARCHITECTS
11 BRADWAY
7TH FLOOR
NEW YORK, NY 10004
T. 212 213 8807

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 957-0060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St., 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

ME/PF ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 687-8869

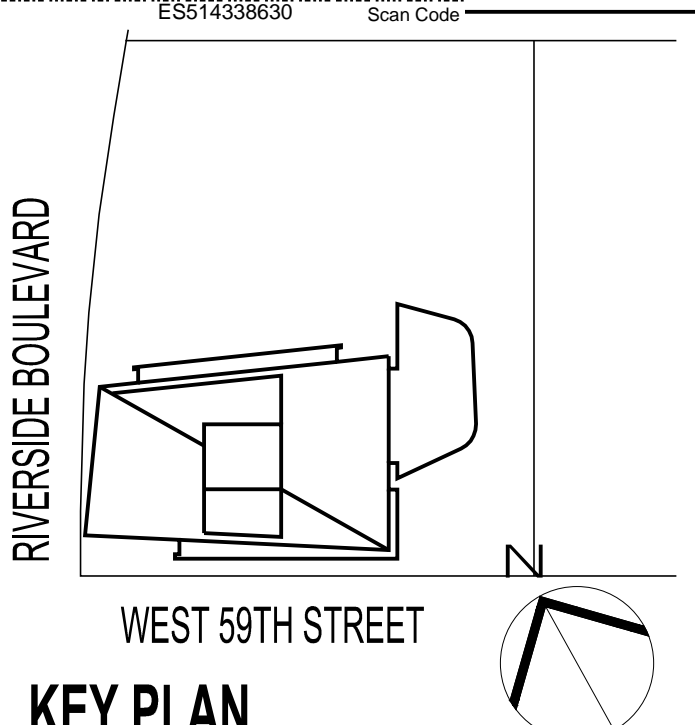
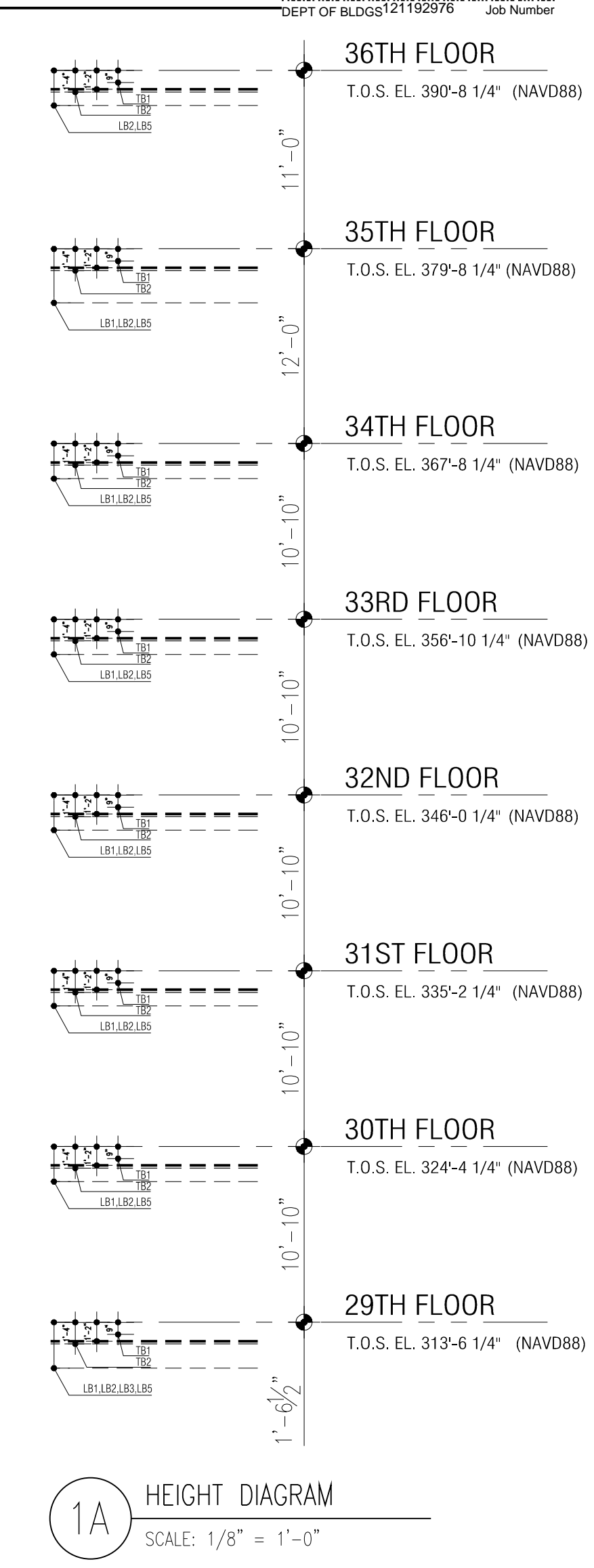
DOB STAMPS & SIGNATURES:

APPROVED
Under Direction of 3 of 305
AMENDED APPLICATION
Date: 12/21/2017
NYC Development Hub

DWG TITLE:
32ND FLOOR PLAN (CONSTRUCTION)
33RD FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:

DATE: 3/6/15
PROJECT #: 14416
SCALE: AS NOTED
A-132.01
DWG NO.



KEY PLAN

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/27/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	08/21/2015	DOB SUBMISSION
2	07/21/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

Owner	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
Project	RIVERSIDE CENTER BUILDING 3 NEW YORK, NY

EXECUTIVE ARCHITECT:

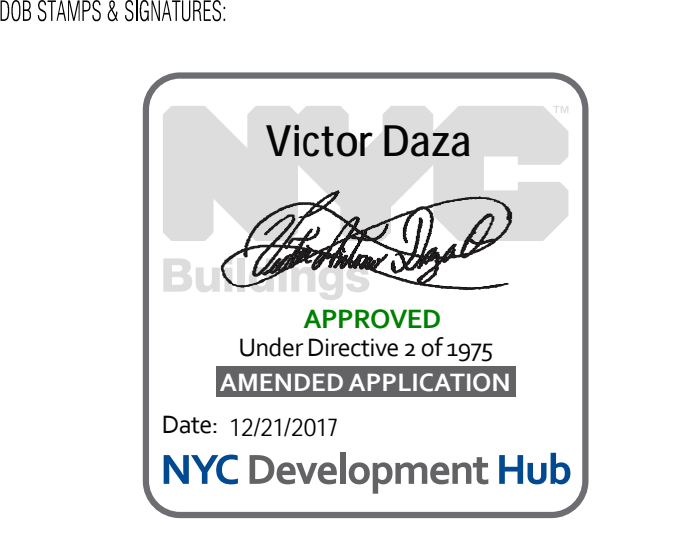
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/FP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869



DWG TITLE:
**33RD FLOOR PLAN (CONSTRUCTION)
34TH FLOOR PLAN (MARKETING)**

SEAL & SIGNATURE: 	DATE: 3/6/15
PROJECT #: 14A16	SCALE: AS NOTED
A-133.01	
DWG NO.	

INCLUSIONARY

RENTAL

CONDO

INCLUSIONARY

RENTAL

CONDO

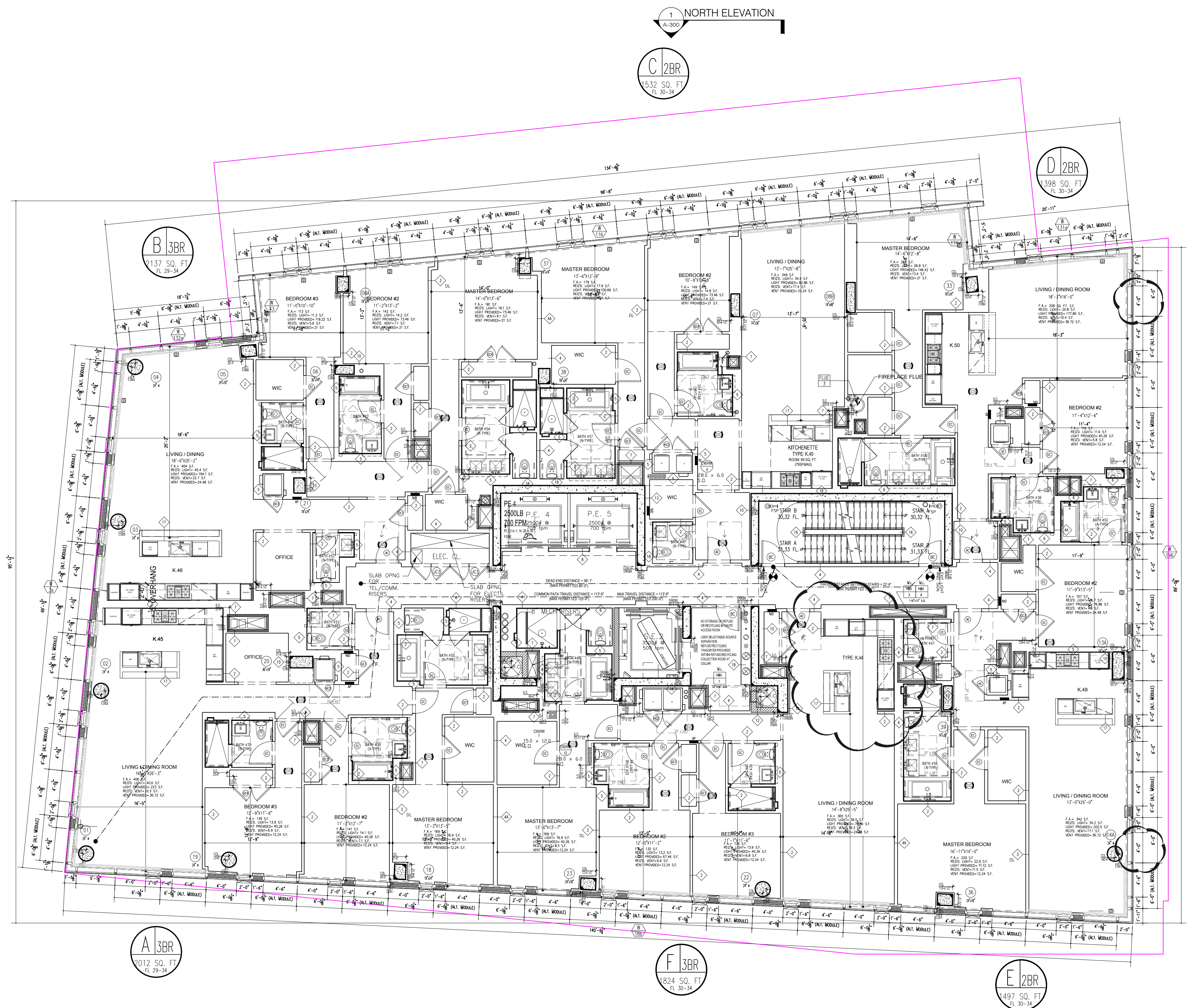
HPD UFAS UNIT

HPD UFAS UNIT

HPD UFAS UNIT

OCCUPANCY TYPE B-2	PER B.C. 106.1.1		
TYPE	NET AREA	NET FLOOR AREA PER UNIT	OCCUPANT COUNT
APARTMENT			
A	2012	200	11
B	2137	200	11
C	1552	200	7
D	1396	200	7
E	1467	200	8
F	1624	200	10
TOTAL	10600 SQ. FT.		55

CONSTRUCTION CLASS B-2
DOOR CAPACITY PER B.C. 106.1.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 18 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
TOTAL OCCUPANT LOAD COMPLES WITH IN DOOR CAPACITY.
DOOR WIDTH PER B.C. 106.1.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY PER B.C. 106.1.1
CAPACITY OF STAIR A AND B IS 18 PEOPLE PER 44" WIDE STAIR. TOTAL OF 360 PEOPLE. (TOTAL OCCUPANT LOAD COMPLES WITH IN STAIR CAPACITY)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR ELEVATOR & STAIR DOORS TO BE 1 - 10 HR. RATED
F.P.S.C.
FULL COMPLIANCE WITH NYCCO
EACH APARTMENT IS EQUIPPED WITH SMOKE/CO DETECTORS ADJACENT TO SLEEPING AREAS.
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.
IMPROVED EXIT PASSAGEWAY COMPLIES WITH BC-1022 WITH REGARD TO HEIGHT, WEIGHT, CONSTRUCTION, OPENINGS, AND PARTITIONINGS.
UNIVERSITY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY EMERGENCY CONSTRUCTION CODE.
IF REQUESTED BY AHA PERSON, WE WILL PROVIDE AN ACCESSIBLE WASHROOMS UNIT.

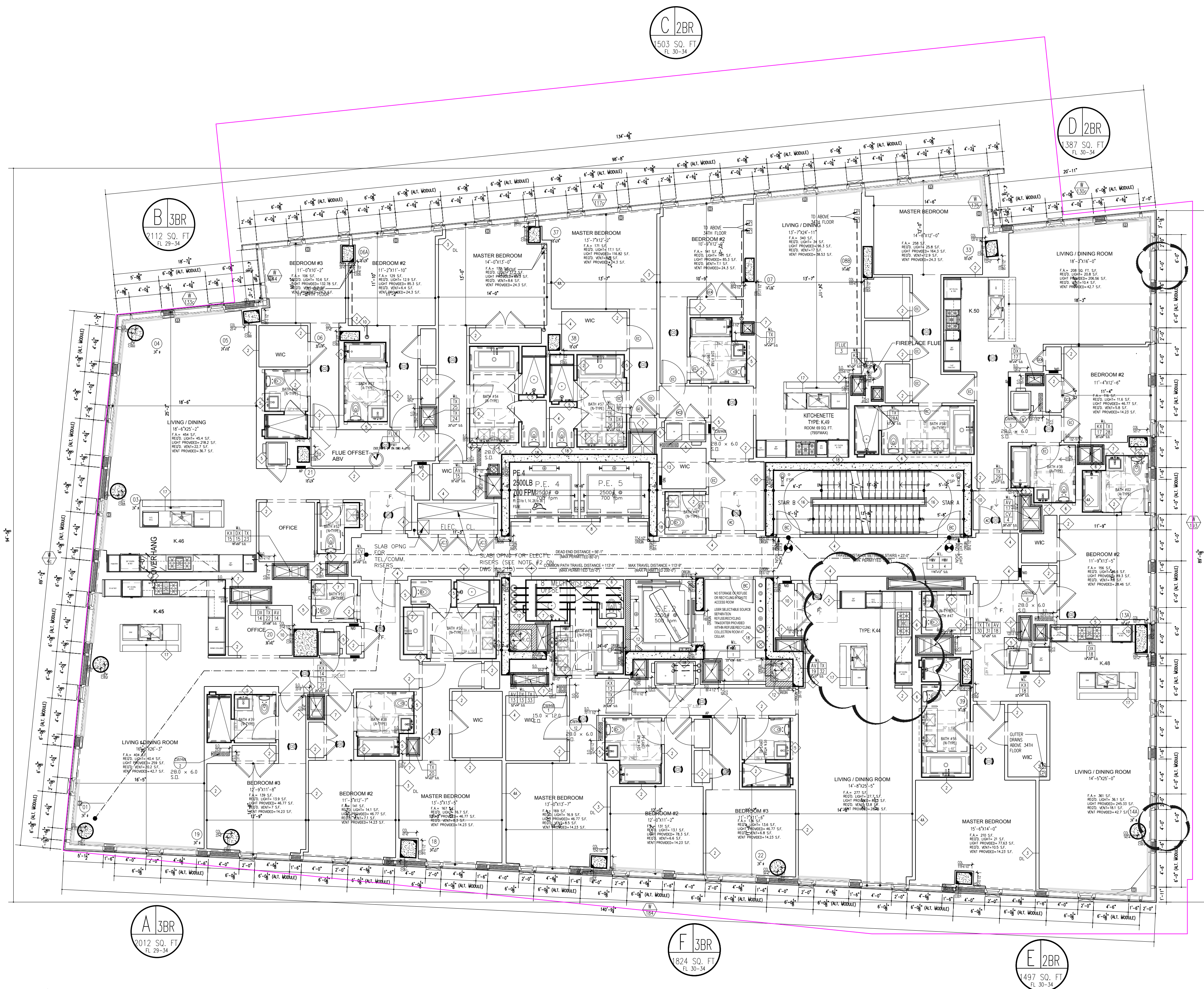


FLOOR	33
RESIDENTIAL	10,400 SF
CORE AREA	1,172 SF
TOTAL GFA	11,572 SF

1 33RD FLOOR PLAN
SCALE: 1/8" = 1'-0"

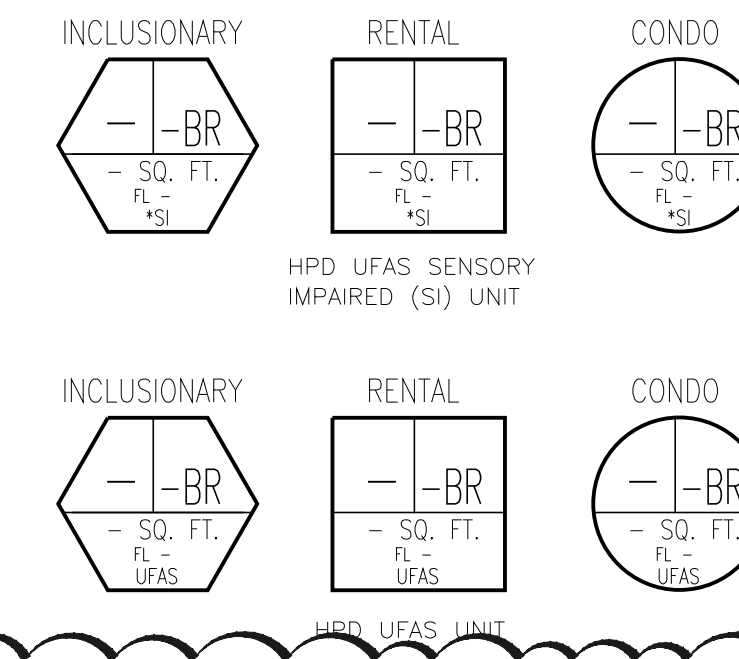
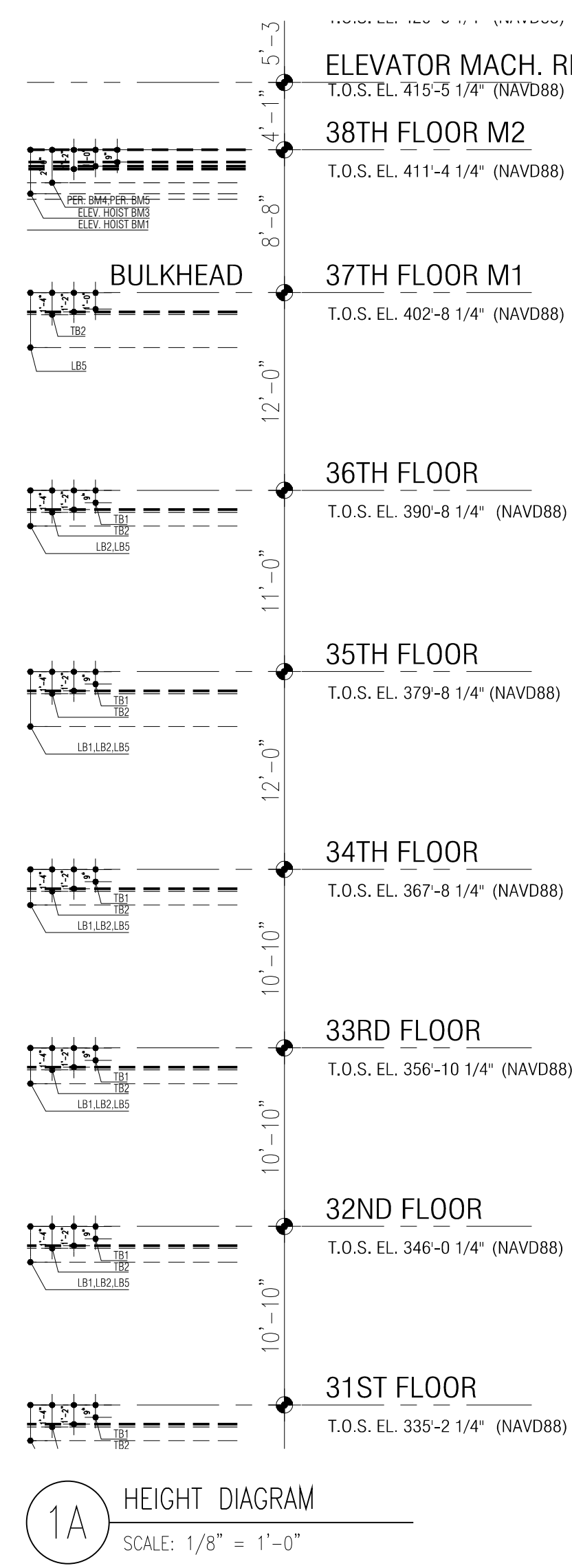


SOUTH ELEVATION



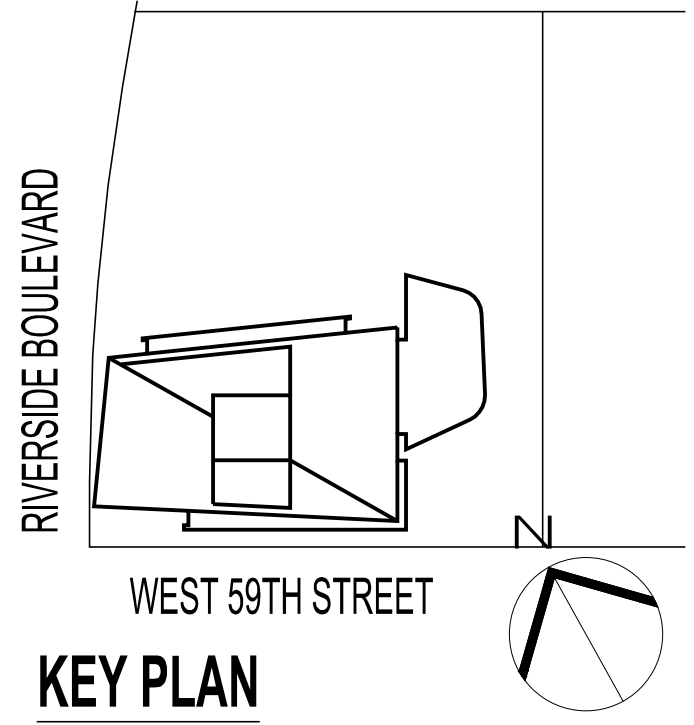
FLOOR	34
RESIDENTIAL	10,338 SF
CORE AREA	1,171 SF
TOTAL GFA	11,509 SF

1 34TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



34TH FLOOR PER B.C. 1004.1.1			
OCCUPANCY TYPE B-2	NET AREA	NET FLOOR AREA PER OCCUPANT	OCCUPANT COUNT
APARTMENT			
A	2012	200	11
B	2112	200	11
C	1600	200	8
D	1307	200	7
E	1407	200	8
F	1824	200	10
TOTAL	10,338 SQ. FT.		55

CONSTRUCTION CLASS 1B
DOOR CAPACITY PER B.C. 1006.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 18 PEOPLE PER 30" WIDE OPENING. TOTAL OF 360 PEOPLE.
(TOTAL OCCUPANT LOAD COMPLIES WITH B.C. 1004.1.1)
DOOR WIDTH PER B.C. 1006.1.1
THE MINIMUM WIDTH OF EACH DOOR SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (COMPLIES)
STAIR CAPACITY PER B.C. 1006.1
CAPACITY OF STAIR A AND B IS 18 PEOPLE PER 44" WIDE STAIR. TOTAL OF 360 PEOPLE. (TOTAL OCCUPANT LOAD COMPLIES WITH B.C. 1004.1.1)
NOTE:
ALL CORRIDOR PARTITIONS TO BE 2 HR. RATED
ALL CORRIDOR, ELEVATOR & STAIR DOORS TO BE 1 - 1 1/2 HR. RATED
F.P.S.C.
FULL COMPLIANCE WITH NYC E.C.C.
EACH APARTMENT IS EQUIPPED WITH SMOKE DETECTORS ADJACENT TO SLEEPING AREAS.
ENTIRE FLOOR TO BE FULLY SPRINKLED EXCEPT WHERE NOTED OTHERWISE.
PROPOSED EXIT PASSAGEWAY COMPLIES WITH E.C.C. 1002.2 WITH REGARD TO WIDTH, HEIGHT, CONSTRUCTION, OPENINGS, AND PARTITIONING.
UNARY CODE PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2011 NEW YORK CITY EMERGENCY CONSTRUCTION CODE.
IF REQUESTED BY ADA PERSON, WE WILL PROVIDE AN ACCESSIBLE & WASHROOMS (NOT)



Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2016	DOB ALT 2
6	07/05/2016	DOB SUBMISSION
5	06/23/2016	DOB SUBMISSION
4	02/09/2016	DOB SUBMISSION
3	08/21/2015	DOB SUBMISSION
2	07/21/2015	DOB SUBMISSION
1	10/06/2015	DOB SUBMISSION

OWNER: BID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/ELECTRICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

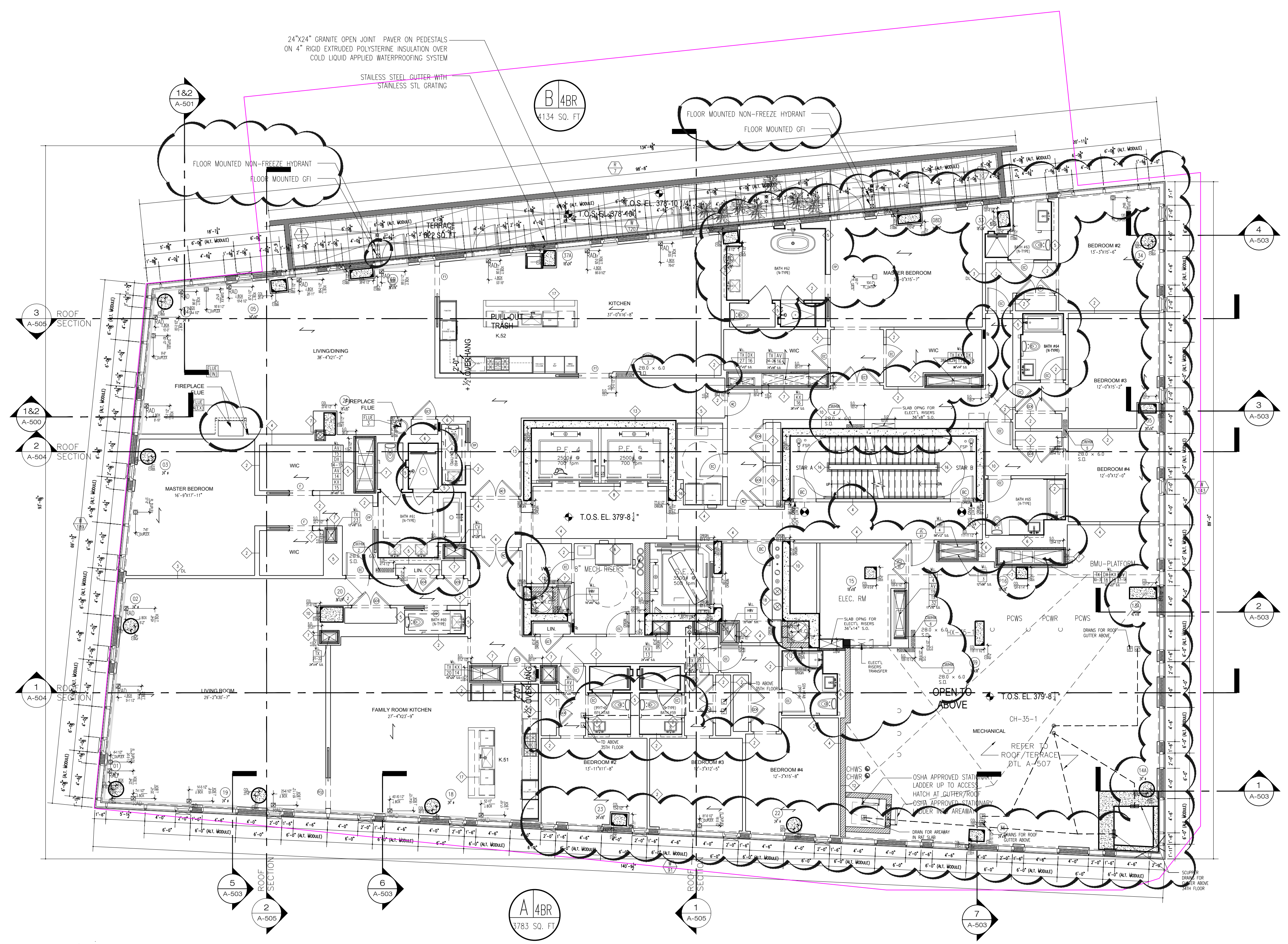
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:

DWG TITLE:
34TH FLOOR PLAN (CONSTRUCTION)
35TH FLOOR PLAN (MARKETING)

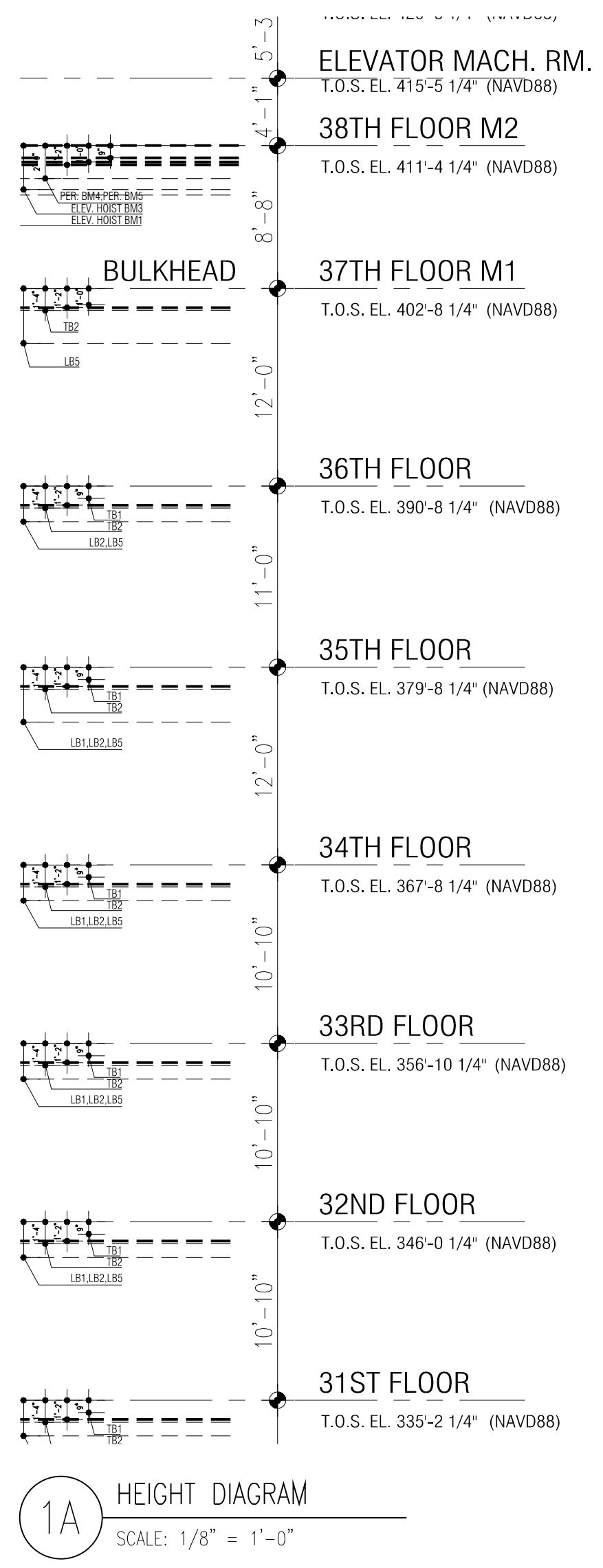
SEAL & SIGNATURE:

DATE: 3/6/15
PROJECT #: 14A16
SCALE: AS NOTED
A-134.01
DWG NO.

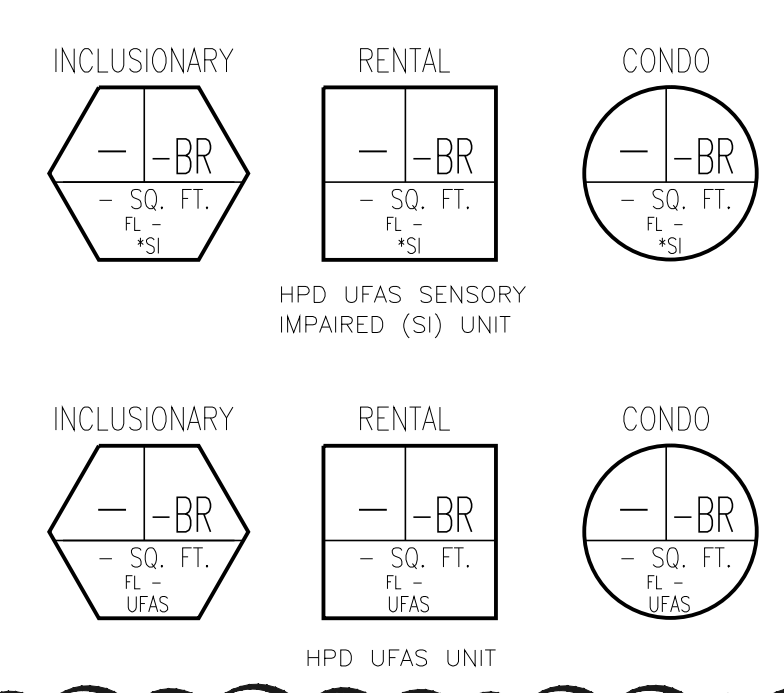


FLOOR	35
RESIDENTIAL	7,936 SF
CORE AREA	1070 SQ. FT.
MECHANICAL	1803 SQ. FT.
TOTAL GFA	10,809 SF

1 35TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

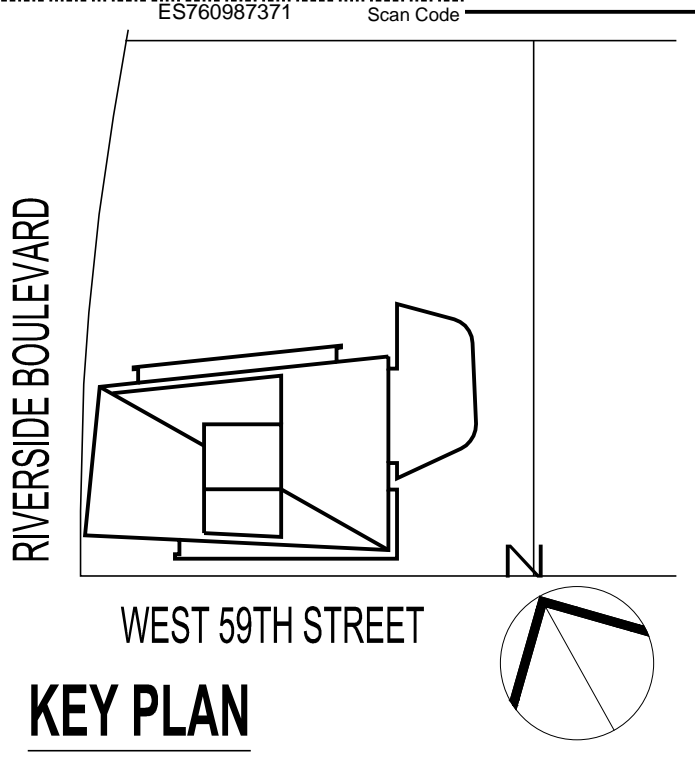


1A HEIGHT DIAGRAM
SCALE: 1/8" = 1'-0"



35TH FLOOR			
OCCUPANCY TYPE R-2			
TYPE	NET AREA (SQ. FT.)	NET TYPICAL UNIT AREA (SQ. FT.)	OCCUPANT COUNT
APARTMENT			
A	3203	200	10
B	4134	200	21
MECHANICAL	1803	300	7
TOTAL	9139 SQ. FT.		47

CONSTRUCTION CLASS 1-B
DOOR CAPACITY, PER I.B.C. 103.1
CAPACITY OF DOOR TO STAIR A & STAIR B IS 180 PEOPLE PER 30\"/>



KEY PLAN

Number	Date	Revision
8	10/30/2017	DOB SUBMISSION
7	10/14/2017	DOB AL 2
6	07/25/2017	DOB SUBMISSION
5	06/27/2017	DOB SUBMISSION
4	02/09/2017	DOB SUBMISSION
3	08/21/2016	DOB SUBMISSION
2	07/27/2016	DOB SUBMISSION
1	10/26/2015	DOB SUBMISSION

OWNER: GID DEVELOPMENT
125 HIGH STREET
HIGH STREET TOWER, 27TH FLOOR
BOSTON, MA 02110

PROJECT: RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

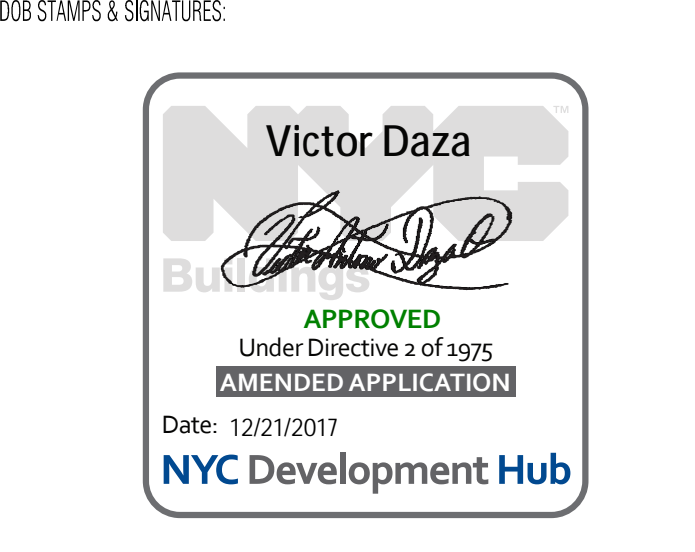
EXECUTIVE ARCHITECT:
HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 219 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
WSP BUILDING STRUCTURES
CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MECHANICAL ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

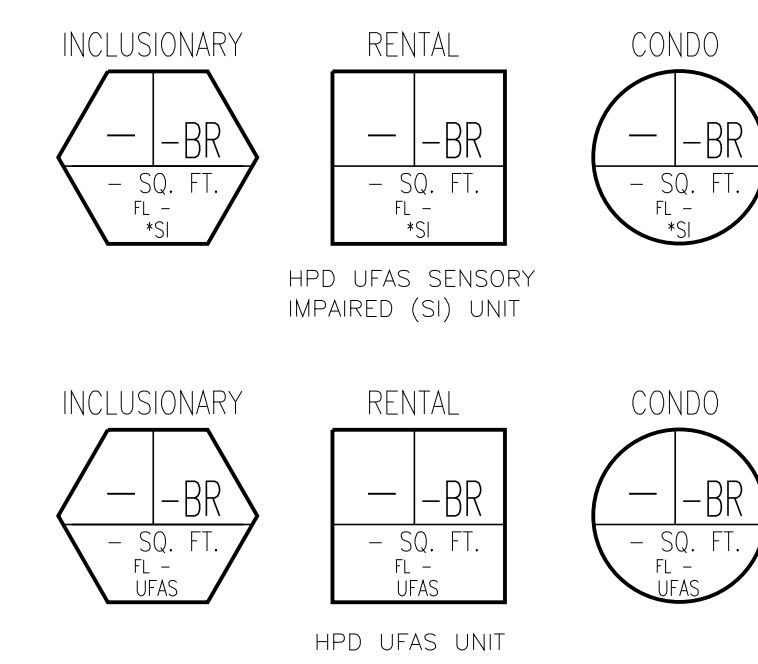
INTERIOR DESIGNER:
CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869



DWG TITLE:
35TH FLOOR PLAN (CONSTRUCTION)
36TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE: 	DATE: 3/6/15
PROJECT #: 14A16	SCALE: AS NOTED
A-135.01	
DWG NO.	

A-135_35TH FLOOR



8.	10/30/2017	D08 SUBMISSION
7.	10/14/2016	D08 ALT 2
6.	07/25/2016	D08 SUBMISSION
5.	06/27/2016	D08 SUBMISSION
4.	06/15/2016	D08 SUBMISSION
3.	06/21/2015	D08 SUBMISSION
2.	07/31/2015	D08 SUBMISSION

OWNER:	GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110
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PROJECT:
RIVERSIDE CENTER BUILDING 3
NEW YORK, NY

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
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Tel: (212) 967-6060

STRUCTURAL ENGINEER:
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CONSULTING ENGINEERS
228 East 45th St, 3rd Floor
New York, NY 10017
Tel: (212) 687-9888 Fax: (646) 487-5501

MEP/FP ENGINEER:
WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER: CHAMPALIMAUD
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:



DWG TITLE:
36TH FLOOR PLAN (CONSTRUCTION)
37TH FLOOR PLAN (MARKETING)

SEAL & SIGNATURE:	
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REGISTERED ARCHITECT
STEPHEN

DATE 3/6/15

PROJECT #:	14A16
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SCALE: AS NOTED

A-136 01

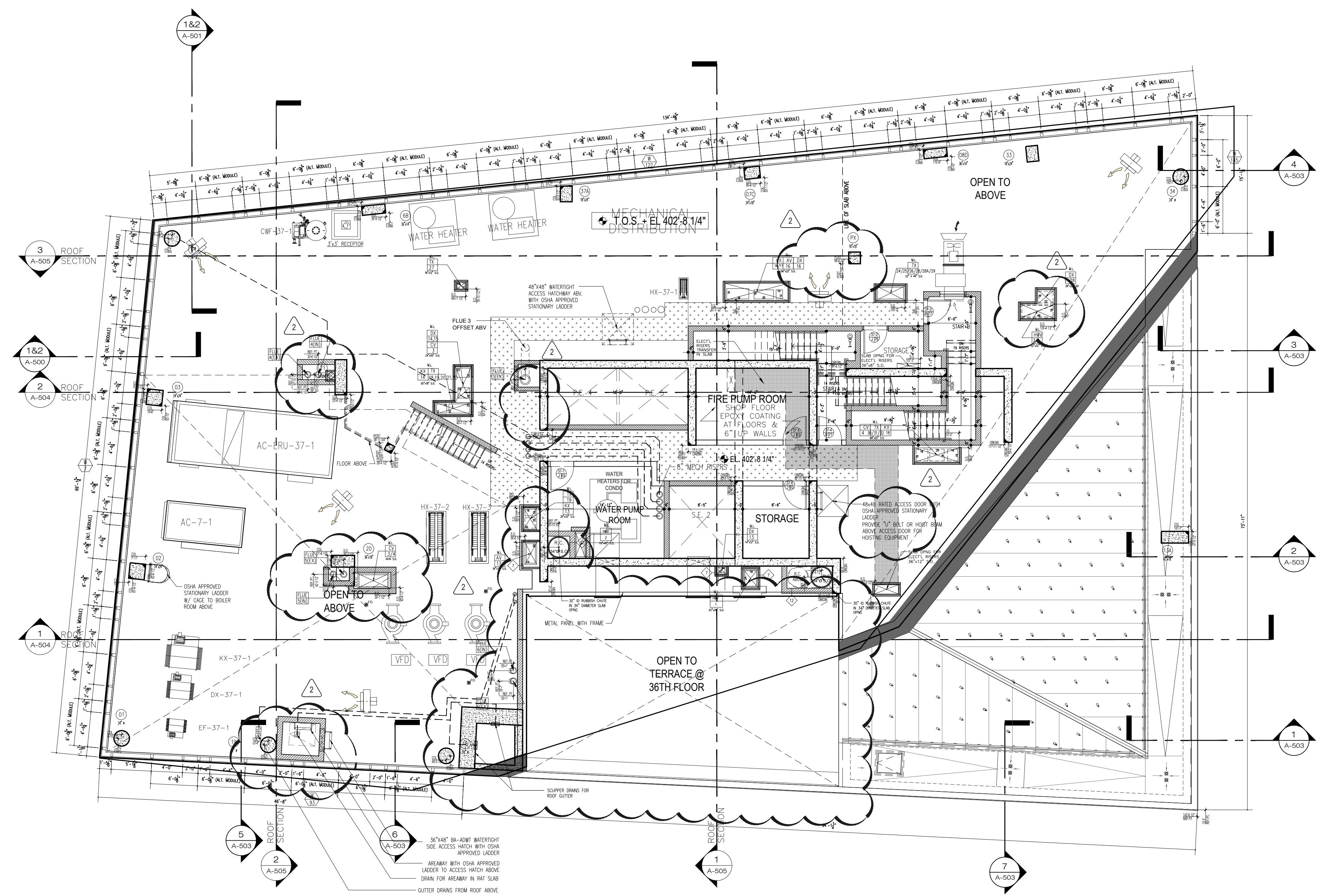
U.S. DEPT. OF NEW YORK
 A 150.01
 TRANS. NO.

A-136_36TH FLOOR

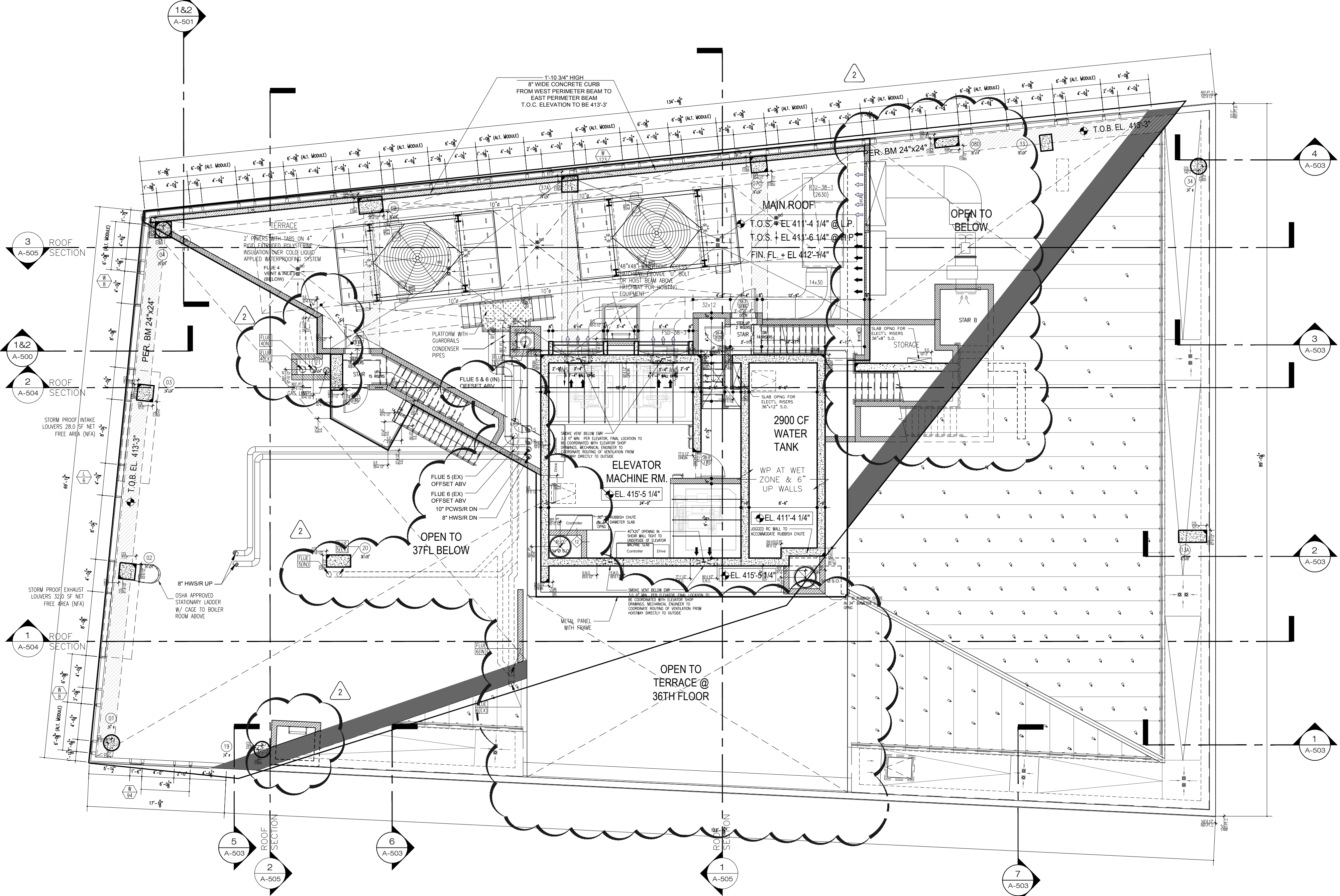


FLOOR	36
RESIDENTIAL	7,470 SF
CORE AREA	1,242 SF
MECHANICAL	1,447 SF
TOTAL GFA	10,160 SF

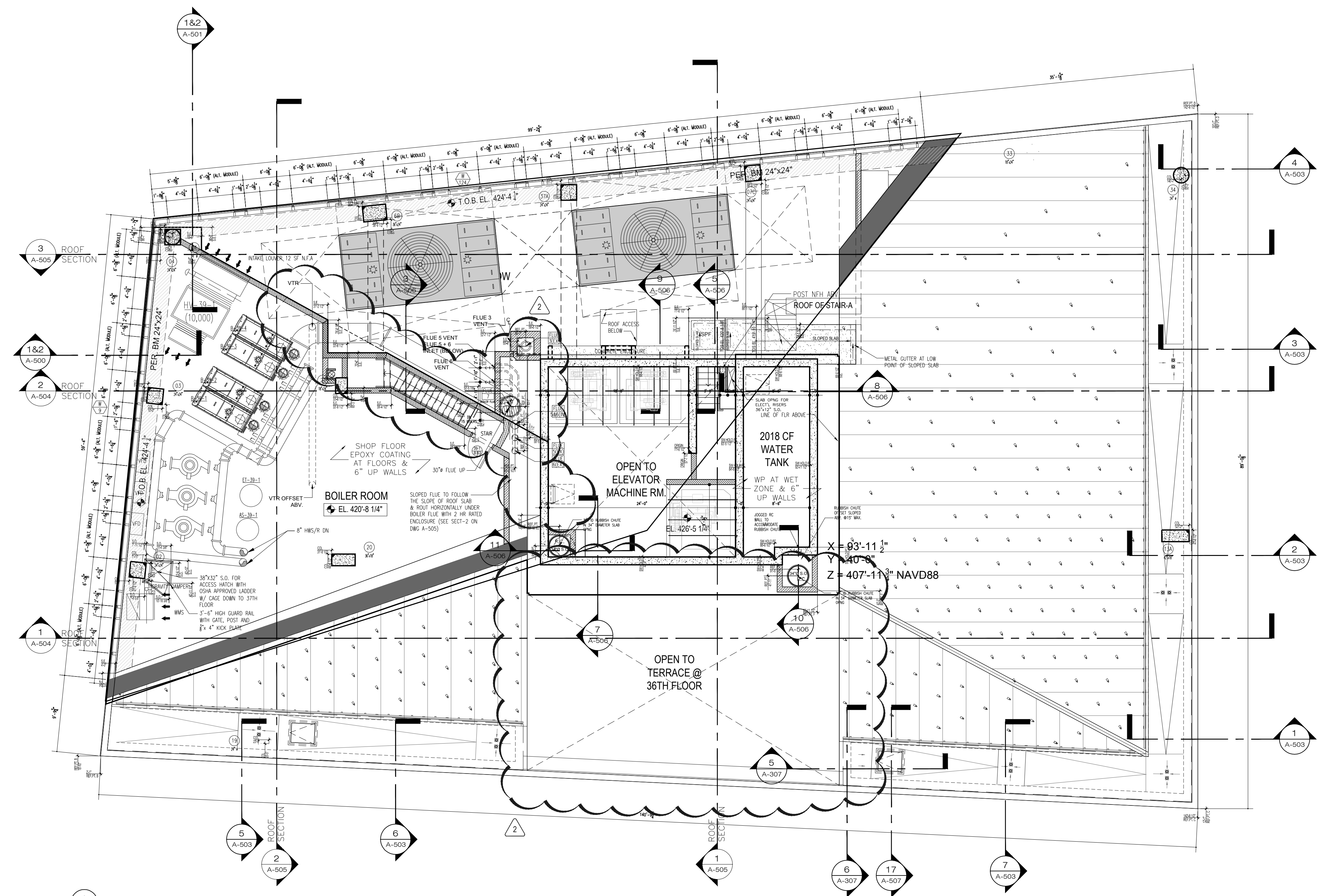
1 36TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



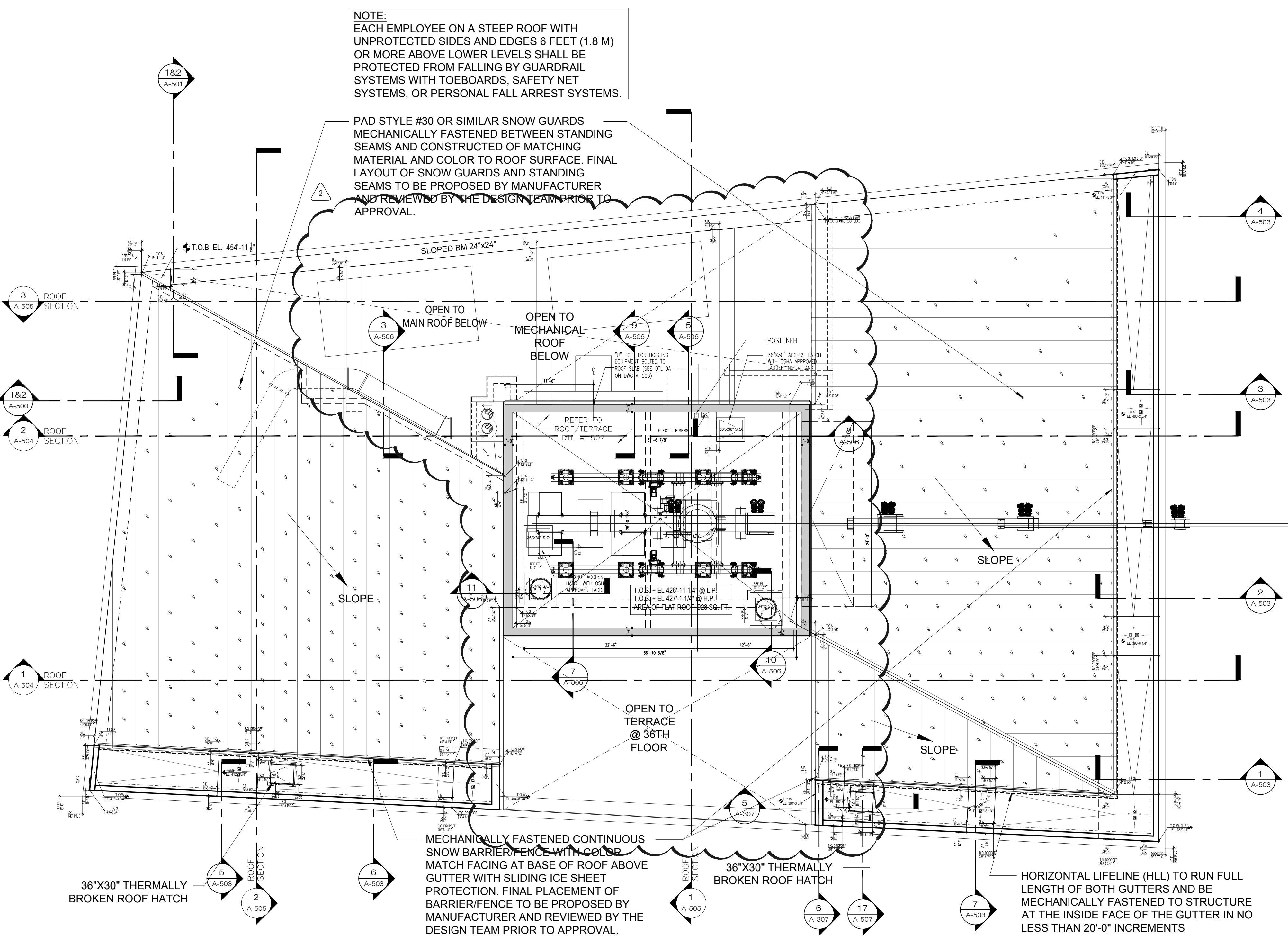
1 37TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



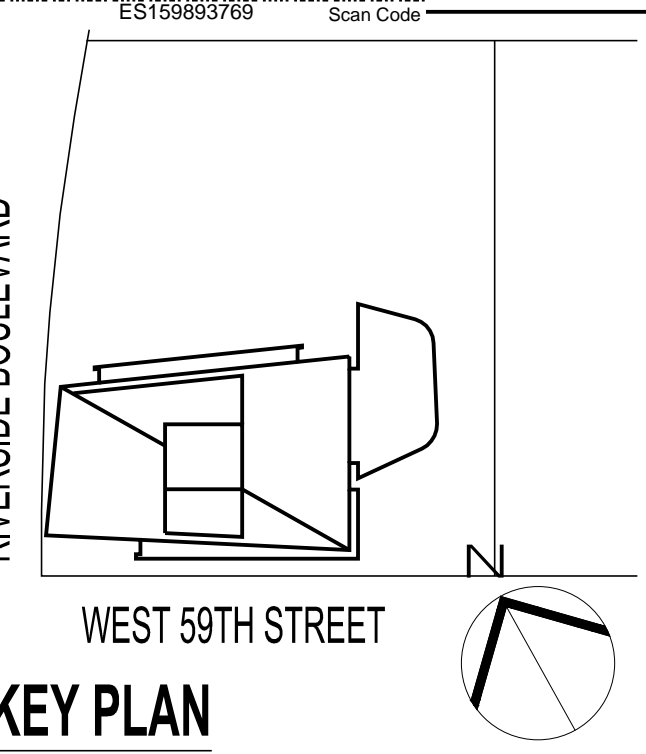
2 38TH FLOOR PLAN (ELEVATOR MACHINE RM)
SCALE: 1/8" = 1'-0"



3 39TH FLOOR PLAN (WATER TANK LEVEL)
SCALE: 1/8" = 1'-0"



4 40TH FLOOR PLAN (ROOF OF WATER TANK)
SCALE: 1/8" = 1'-0"



KEY PLAN

8.	10/30/2017	DRS SUBMISSION
7.	10/14/2017	DRS AL2
6.	07/25/2016	DRS SUBMISSION
5.	06/22/2016	DRS SUBMISSION
4.	02/09/2016	DRS SUBMISSION
3.	09/21/2015	DRS SUBMISSION
2.	07/21/2015	DRS SUBMISSION
1.	10/06/2015	DRS SUBMISSION

Number	Date	Revision
OWNER	GID DEVELOPMENT	
	125 HIGH STREET	
	HIGH STREET TOWER, 27TH FLOOR	
	BOSTON, MA 02110	
PROJECT	RIVERSIDE CENTER BUILDING 3	
	NEW YORK, NY	

EXECUTIVE ARCHITECT	HILL WEST ARCHITECTS 11 BROADWAY 17TH FLOOR NEW YORK, NY 10004 T. 212.219.8007
---------------------	---

DESIGN ARCHITECT	RICHARD MEIER & PARTNERS ARCHITECTS, LLP 475 Tenth Avenue New York, NY 10018 Tel: (212) 967-6060
------------------	--

STRUCTURAL ENGINEER	WSP BUILDING STRUCTURES CONSULTING ENGINEERS 228 East 45th St, 3rd Floor New York, NY 10017 Tel: (212) 687-9888 Fax: (646) 487-5501
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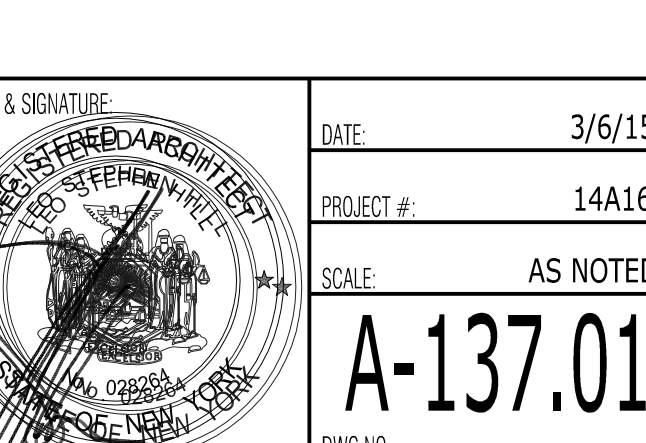
MECHANICAL ENGINEER	WSP BUILDING SYSTEMS CONSULTING ENGINEERS 512 Seventh Avenue New York, NY 10018 Tel: (212) 532-9600
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INTERIOR DESIGNER	CHAMPALIMAUD 475 Tenth Avenue, 10th Floor New York, NY 10018 Tel: (212) 807-8869
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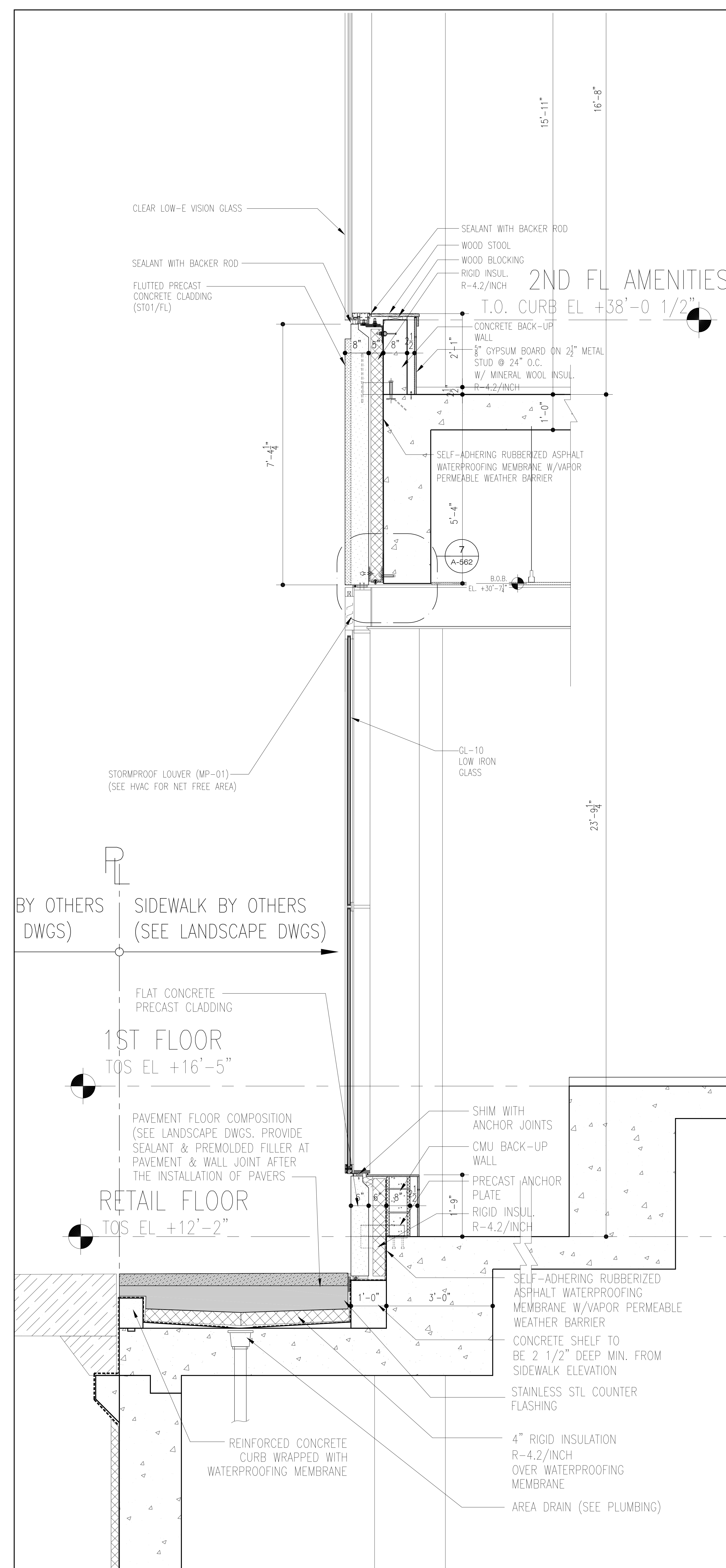
DOB STAMPS & SIGNATURES



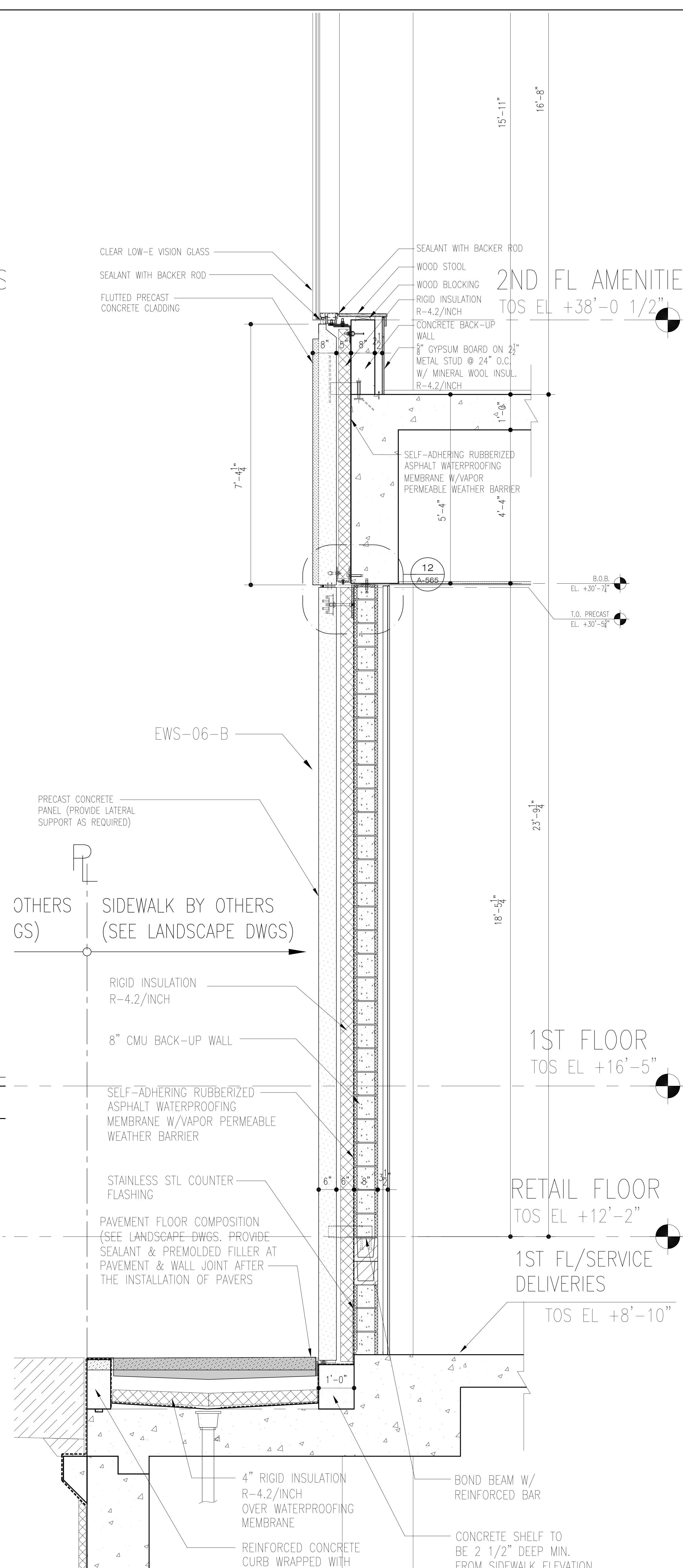
DATE	3/6/15
PROJECT #	14A16
SCALE	AS NOTED
DWG TITLE	37-40TH FLOOR PLAN (37TH - 39TH FLOOR)



37-40TH FLOOR PLAN (37TH - 39TH FLOOR)



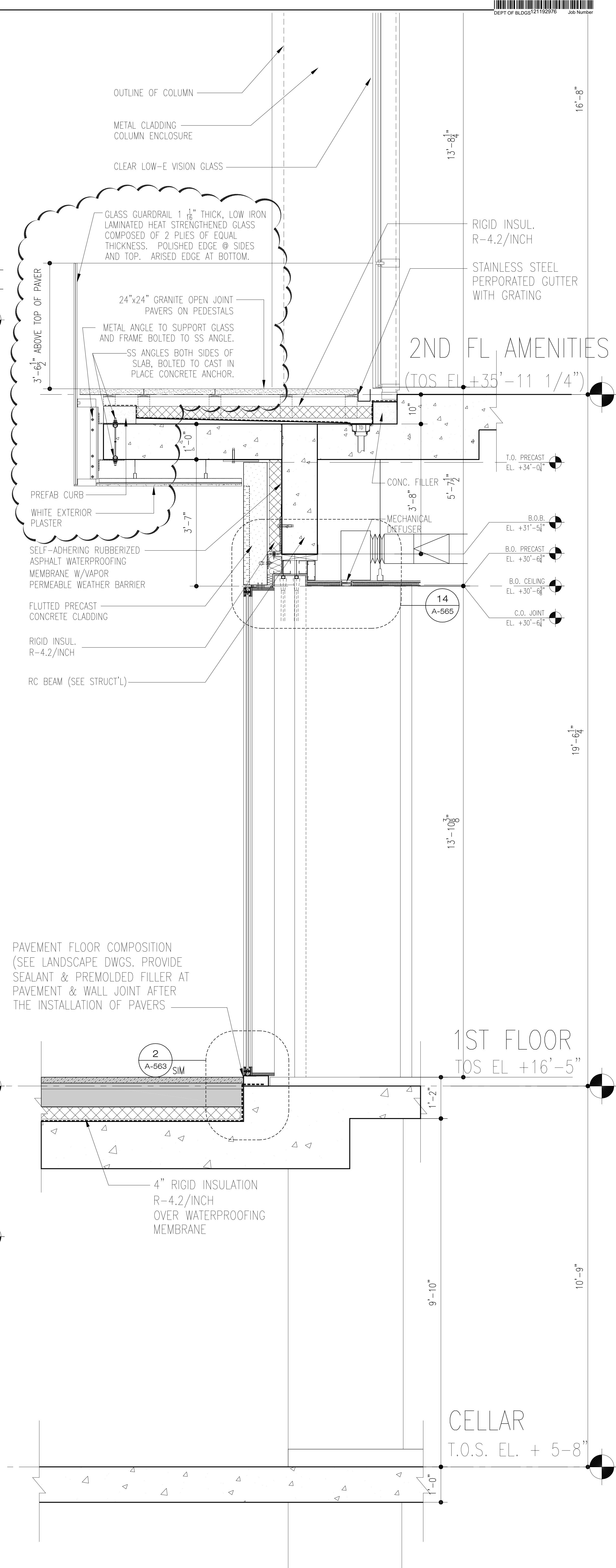
3 SECTION THRU PRECAST CONC
CLADDING WINDOW SILL HT @ RETAIL AREA
SCALE: 3/16" = 1'-0"



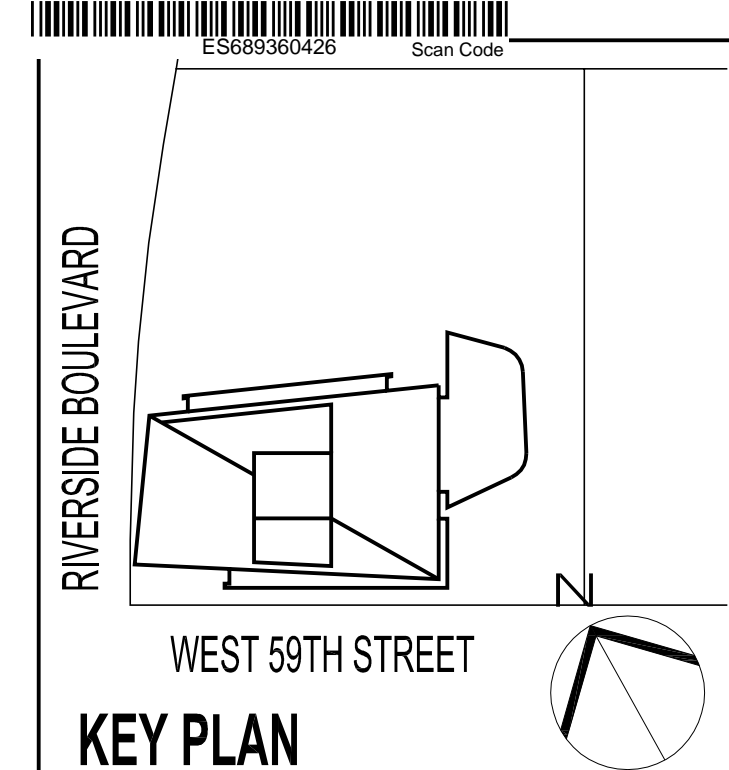
SECTION THRU FULL HT PRECAST CONC
CLADDING @ SERVICE DELIVERIES

2

SCALE: 3/16" = 1'-0"



SECTION THRU GLASS PARAPET
AT NORTH FACADE
SCALE: 3/16" = 1'-0"



9.	12/19/2017	DOR SUBMISSION
8.	12/05/2017	DOR SUBMISSION
7.	10/14/2016	DOR ALT 2
6.	07/23/2016	DOR SUBMISSION
5.	05/27/2016	DOR SUBMISSION
4.	02/03/2016	DOR SUBMISSION
3.	09/21/2015	DOR SUBMISSION
2.	07/31/2015	DOR SUBMISSION
1.	03/06/2015	DOR SUBMISSION

Number:	Date:	Revision:
OWNER: GID DEVELOPMENT 125 HIGH STREET HIGH STREET TOWER, 27TH FLOOR BOSTON, MA 02110		
PROJECT: RIVERSIDE CENTER BUILDING 3 NEW YORK, NY		

EXECUTIVE ARCHITECT:

HILL | WEST
ARCHITECTS
11 BROADWAY
17TH FLOOR
NEW YORK, NY 10004
T. 212 213 8007

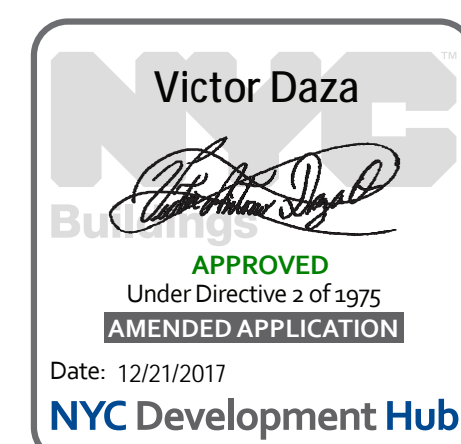
DESIGN ARCHITECT:
RICHARD MEIER & PARTNERS
ARCHITECTS, LLP
475 Tenth Avenue
New York, NY 10018
Tel: (212) 967-6060

STRUCTURAL ENGINEER:
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Tel: (212) 687-9888 Fax: (646) 487-5501


WSP BUILDING SYSTEMS
CONSULTING ENGINEERS
512 Seventh Avenue
New York, NY 10018
Tel: (212) 532-9600

INTERIOR DESIGNER: **CHAMPALIMAUD**
475 Tenth Avenue, 10th Floor
New York, NY 10018
Tel: (212) 807-8869

DOB STAMPS & SIGNATURES:



DWG TITLE: BASE WALL SECTIONS

SEAL & SIGNATURE: 	DATE:	3/6/1
	PROJECT #:	14A1
	SCALE:	AS NOTED
	<div style="font-size: 2em; font-weight: bold;">A-508.01</div>	
	DRAWING NO.	